



EAGLE MOUNTAIN PLANNING COMMISSION MEETING

SEPTEMBER 24, 2024, 5:30 PM

EAGLE MOUNTAIN CITY COUNCIL CHAMBERS

1650 EAST STAGECOACH RUN, EAGLE MOUNTAIN, UTAH 84005

5:30 PM – PLANNING COMMISSION WORK SESSION

1. DISCUSSION ITEMS

1.A. Discussion - Moderate Income Housing

6:30 PM PLANNING COMMISSION POLICY SESSION

2. CALL TO ORDER

3. PLEDGE OF ALLEGIANCE

4. DECLARATION OF CONFLICTS OF INTEREST

5. MINUTES

5.A. September 10, 2024 Planning Commission Minutes

6. STATUS REPORT

7. ACTION AND ADVISORY ITEMS

7.A. ACTION/PUBLIC HEARING - Dutch Bros Site Plan

BACKGROUND: (Presented by Planner, Steven Lehmitz). Site plan review and recommendation of a Dutch Bros, located at 1231 E. Eagle Mountain Boulevard (Parcel No. 59:044:0189).

8. DISCUSSION ITEMS

9. NEXT SCHEDULED MEETING

10. ADJOURNMENT

THE PUBLIC IS INVITED TO PARTICIPATE IN PUBLIC MEETINGS FOR ALL AGENDAS.

By the Americans with Disabilities Act, Eagle Mountain City will make reasonable accommodations for participation in all Public Meetings and Work Sessions. Please call the City Recorder's Office at least 3 working days prior to the meeting at 801-789-6610. This meeting may be held telephonically to allow a member of the public body to participate. This agenda is subject to change with a minimum 24-hour notice.

CERTIFICATE OF POSTING

The undersigned, duly appointed City Recorder, does hereby certify that the above agenda notice was posted on this 19th day of September, 2024, on the Eagle Mountain City bulletin boards, the Eagle Mountain City website www.emcity.org, posted to the Utah State public notice website <http://www.utah.gov/pmn/index.html>, and was emailed to at least one newspaper of general circulation within the jurisdiction of the public body.



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
SEPTEMBER 24, 2024**

TITLE:	Moderate Income Housing
ITEM TYPE:	Communication Item
FISCAL IMPACT:	N/A
APPLICANT:	City Staff

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
N/A	N/A

PUBLIC HEARING

No

PREPARED BY

Beth Fewkes

PRESENTED BY

Beth Fewkes

RECOMMENDATION:

Staff seeks to update the Planning Commission on the progress of the implementation of Strategy 5 of the Moderate Income Housing Plan.

BACKGROUND:

In 2023, Eagle Mountain City adopted strategies for Moderate-Income Housing as part of its General Plan, in accordance with Utah State Code (Section 10-9a-403). Strategy 5 directs the adoption of a land use ordinance requiring 10% or more of new residential development in certain residential zones to be dedicated to moderate-income housing. The City Council has set a deadline of December 31, 2024, to adopt this ordinance. Staff has begun preliminary research and engaged with the City Council and stakeholders to explore potential housing types that meet both City and State requirements.

ITEMS FOR CONSIDERATION:

PLANNING COMMISSION ACTION/RECOMMENDATION:

ATTACHMENTS:

None



EAGLE MOUNTAIN PLANNING COMMISSION MINUTES

SEPTEMBER 10, 2024, 5:30 PM

EAGLE MOUNTAIN CITY COUNCIL CHAMBERS

1650 EAST STAGECOACH RUN, EAGLE MOUNTAIN, UT 84005

COMMISSION MEMBERS PRESENT: Commissioners Jason Allen, Robert Fox, Rod Hess, Brent Strong, and Craig Whiting, and Alternate Commissioner Bryan Free.

ELECTED OFFICIALS PRESENT: Councilmember Brett Wright, Liaison to the Planning Commission.

CITY STAFF PRESENT: Brandon Larsen; Planning Director; Marcus Draper, City Attorney; David Stroud, Senior Planner; Steven Lehmitz, Planner; Elizabeth Fewkes, Planner; Ashley Swensen, Planner; and Lianne Pengra, Chief Deputy Recorder.

5:30 P.M. EAGLE MOUNTAIN CITY PLANNING COMMISSION WORK SESSION

Commissioner Allen called the meeting to order at 5:30 PM.

1. DISCUSSION ITEMS

1.A. DISCUSSION – Open Meeting Training

City Attorney Marcus Draper provided open public meetings and ethics training to the Planning Commission.

Commissioner Allen adjourned the work session at 5:57 PM.

6:30 P.M. EAGLE MOUNTAIN CITY PLANNING COMMISSION POLICY SESSION

2. CALL TO ORDER

Commissioner Allen called the meeting to order at 6:30 PM.

3. PLEDGE OF ALLEGIANCE

Commissioner Allen led the Pledge of Allegiance.

4. DECLARATION OF CONFLICTS OF INTEREST

Commissioner Whiting informed the Commission that his brokerage and Edge Homes are both sponsoring a charity 5K happening on Saturday, September 14.

5. MINUTES

5.A. August 27, 2024 Planning Commission Minutes

MOTION:

Commissioner Hess moved to approve the minutes with the following changes:

- 1. The Report of Action is added for Item 7.G.*
 - 2. The Report of Action for Item 7.H. is corrected to a motion to table with Commissioner Allen moving to table and Commissioner Hess seconding the motion.*
 - 3. The numbering for Item 7.H. is corrected.*
- Commissioner Allen seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes

Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Not Voting – Alternate

The motion passed with a unanimous vote.

6. STATUS REPORT

Planning Director Brandon Larsen reviewed upcoming meeting and conference opportunities with the Planning Commission.

7. ACTION AND ADVISORY ITEMS

7.A. ACTION/ADVISORY – Gardner Farms Concept Plan

This item was discussed after Item 7.E.

Senior Planner David Stroud presented the item. Gardner Farms is a 160-acre master plan containing single-family, multi-family stacked and townhome dwellings. Commercial is proposed along Eagle Mountain Boulevard as well as property under the ownership of Intermountain Healthcare.

Applicant representative Chase Bryan addressed the Planning Commission regarding the item.

Please see the attached Report of Action for details regarding the Planning Commission discussion.

7.B. ACTION ITEM/PUBLIC HEARING – The District Master Site Plan & Preliminary Plat

Senior Planner David Stroud presented the item. The item is a request for Master Site Plan approval of commercial development on 19.26 acres and is located at Eagle Mountain Boulevard and Pony Express Parkway, Utah County Parcel Numbers 59:044:0041, 59:044:0175, 59:044:0176, 59:044:0112, 53:228:0001, 53:228:0002, 53:228:0003, and 53:228:0004.

Applicant representative Forrest Gaskill addressed the Planning Commission regarding the item.

Commissioner Allen opened the public hearing at 7:17 PM. As there were no comments, he closed the hearing.

Please see the attached Report of Action for details regarding the Planning Commission discussion.

MOTION: *Commissioner Allen moved to recommend approval to the City Council of The District Master Site Plan and Preliminary Plat with the following recommendations:*

1. Outstanding redlines are rectified prior to the item being presented to City Council.
Commissioner Fox seconded the motion.

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	No
Brent Strong	No
Craig Whiting	No
Bryan Free	Not Voting - Alternate

The motion failed with a vote of 2:3.

7.C. ACTION ITEM/PUBLIC HEARING – Rose Ranch Rezone and Master Development Plan

Senior Planner David Stroud presented the item. The proposed Master Development Plan for Rose Ranch is on 79.85 acres and is located at approximately 200 E. Willard Peak Road, Utah County Parcel Number 59:043:0016. The rezone application is to rezone the property from Agriculture to R2 and R3 for the purpose of constructing single-family homes.

Applicant representative Steve Maddox addressed the Planning Commission regarding the item.

Commissioner Allen opened the public hearing at 7:31 PM.

The following individuals spoke during the public hearing: Katie Brady; SITLA provided a written comment in support of the item.

Commissioner Allen closed the public hearing at 7:34 PM.

Please see the attached Report of Action for details regarding the Planning Commission discussion.

MOTION: *Commissioner Fox moved to recommend approval to the City Council of the Rose Ranch Rezone and Master Development Plan. Commissioner Allen seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	No
Bryan Free	Not Voting - Alternate

The motion passed with a vote of 4:1.

7.D. ACTION ITEM/PUBLIC HEARING – Ranches Properties Rezone and 29, 30, & 31 of Eagle Mountain Properties Rezone

Planning Director Brandon Larson presented the item. The rezone and future land use map amendments for noted parcels generally located in The Ranches and Eagle Mountain Properties MDP areas of the City. Approximately 216 acres of land are included in this proposal. The following parcels are the ones to be included: 58:033:0423, 38:302:0002, 38:685:0002, 38:685:0001, 58:033:0305, 58:034:0440, 58:034:0250, 58:034:0242, 58:040:0259, 58:040:0188, 58:040:0378, 58:040:0326, 58:040:0654, 58:040:0525, 42:050:0002, 59:045:0045, and 59:045:0006.

Commissioner Allen opened the public hearing at 8:17 PM.

The following individuals spoke during the public hearing: Parcel #1 representative Mike Geddes, Scot Hazard, Robert Black, Eliza Jensen, and Zella Jensen.

Commissioner Allen closed the public hearing at 8:37 PM.

Please see the attached Report of Action for details regarding the Planning Commission discussion.

MOTION: *Commissioner Allen moved to recommend approval to the City Council of the Ranches Properties Rezone and 29, 30, & 31 of Eagle Mountain Properties Rezone and Future Land Use Designations with the following designations:*

<i>Property Number</i>	<i>Zone</i>	<i>Land Use Designation</i>
<i>EMP 29</i>	<i>CN</i>	<i>Community Commercial</i>
<i>EMP 30</i>	<i>CN</i>	<i>Community Commercial</i>
<i>EMP 31</i>	<i>CN</i>	<i>Community Commercial</i>
<i>1</i>	<i>CN</i>	<i>Community Commercial</i>
<i>2</i>	<i>CC</i>	<i>Community Commercial</i>
<i>3</i>	<i>CC</i>	<i>Community Commercial</i>
<i>4</i>	<i>CC</i>	<i>Community Commercial</i>
<i>5</i>	<i>CN</i>	<i>Community Commercial</i>
<i>6</i>	<i>CN</i>	<i>Community Commercial</i>
<i>7</i>	<i>CC</i>	<i>Community Commercial</i>

8	CC	Community Commercial
9	AG	Parks and Open Space
10	AG	Parks and Open Space
12	CC	Community Commercial
13	OSN	Parks and Open Space
14	OSN	Parks and Open Space

Commissioner Strong seconded the motion.

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Not Voting - Alternate

The motion passed with a unanimous vote.

MOTION: *Commissioner Fox moved to recommend approval to the City Council of the Ranches Properties Rezone for Property 11 with the following designations:*

<i>Property Number</i>	<i>Zone</i>
<i>11</i>	<i>Foothill Residential</i>

Commissioner Allen seconded the motion.

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	No
Brent Strong	No
Craig Whiting	No
Bryan Free	Not Voting - Alternate

The motion failed with a vote of 2:3.

MOTION: *Commissioner Strong moved to recommend approval to the City Council of the Ranches Properties Rezone for Property 11 with the following designation:*

<i>Property Number</i>	<i>Zone</i>
<i>11</i>	<i>RD2</i>

Commissioner Hess seconded the motion.

AMENDED MOTION: *Commissioner Strong moved to recommend approval to the City Council of the Ranches Properties Rezone for Property 11 with the following designations:*

<i>Property Number</i>	<i>Zone</i>	<i>Future Land Use Designation</i>
<i>11</i>	<i>RD2</i>	<i>Agriculture/Rural Density 2</i>

Commissioner Hess seconded the motion.

Jason Allen	No
Robert Fox	No
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	No
Bryan Free	Not Voting - Alternate

The motion failed with a vote of 2:3.

MOTION: *Commissioner Whiting moved to recommend approval to the City Council of the Ranches Properties Rezone for Property 11 with the following designations:*

<i>Property Number</i>	<i>Zone</i>	<i>Future Land Use Designation</i>
<i>11</i>	<i>RD2</i>	<i>Foothill Residential</i>

Commissioner Allen seconded the motion.

Jason Allen	No
Robert Fox	No
Rod Hess	No
Brent Strong	No
Craig Whiting	Yes
Bryan Free	Not Voting - Alternate

The motion failed with a vote of 1:4.

MOTION: *Commissioner Whiting moved to recommend approval to the City Council of the Ranches Properties Rezone for Property 11 with the following designations:*

<i>Property Number</i>	<i>Zone</i>	<i>Future Land Use Designation</i>
<i>11</i>	<i>Foothill Residential</i>	<i>Foothill Residential</i>

Commissioner Fox seconded the motion.

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	No
Brent Strong	No
Craig Whiting	Yes
Bryan Free	Not Voting - Alternate

The motion passed with a vote of 3:2.

7.E. ACTION ITEM/PUBLIC HEARING – Granite Credit Union Site Plan

This item was presented prior to Item 7.A.

Planner Steven Lehmitz presented the item. The item is for site plan review and recommendation to the City Council for Granite Credit Union, located on Parcel 66:403:0103, which is behind the Maverick at Ranches Parkway and SR-73.

Applicant representative Chris Thompson addressed the Planning Commission regarding the item.

Commissioner Allen opened the public hearing at 6:47 PM.

The following individuals spoke during the public hearing: Robert Black.

Commissioner Allen closed the public hearing at 6:48 PM.

Please see the attached Report of Action for details regarding the Planning Commission discussion.

MOTION: *Commissioner Hess moved to recommend approval to the City Council of the Granite Credit Union Site Plan with the following recommendations:*

- 1. The approval is contingent upon the proposed plat amendment application being approved; and*
- 2. All mechanical equipment shall be screened and not visible from the street.*

Commissioner Strong seconded the motion.

Jason Allen	Yes
Robert Fox	Yes

Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Not Voting - Alternate

The motion passed with a unanimous vote.

8. DISCUSSION ITEMS

9. NEXT SCHEDULED MEETING

The next Planning Commission meeting is scheduled for September 24, 2024.

10. ADJOURNMENT

MOTION: *Commissioner Fox moved to adjourn the meeting at 9:19 PM. Commissioner Allen seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Not Voting - Alternate

The motion passed with a unanimous vote.

The meeting was adjourned at 9:19 PM.

Approved by the Planning Commission on September 24, 2024.

Brandon Larsen
Planning Director



Eagle Mountain City

Planning Commission

Report of Action

September 10, 2024

ITEM #7B Edge Homes requests approval of the Rose Ranch Master Development Plan and Rezone on Parcel 59:043:0016, 79.85 acres. David Stroud (801) 789-6615, dstroud@emcity.org. Opengov: MDP-24-1

The following action was taken by the Planning Commission on the above-described item at its regular meeting on September 10, 2024:

RECOMMEND APPROVAL

The Planning Commission recommends approval to the City Council by a vote of 4-1 of the requests by Edge Homes for the Rose Ranch Master Development Plan and rezone. Motion by Commissioner Fox, Second by Commissioner Allen.

Votes in Favor of Motion: Robert Fox, Jason Allen, Rod Hess, and Brent Strong

Votes in Opposition of Motion: Craig Whiting

Jason Allen was present as Chair.

Includes facts of the case, analysis, conclusions and recommendations outlined in the Staff Report, with any changes noted; Planning Commission determination is generally consistent with the Staff analysis and determination.

LEGAL DESCRIPTION FOR PROPERTY TO BE REZONED

The subject property parcel ID is listed in the heading of this report and identified in Exhibit A.

PROPOSED ZONING

78 R2 lots

147 R3 lots

Open space

MASTER DEVELOPMENT AGREEMENT

Applies, to be drafted by the City Attorney.

STAFF PRESENTATION

The Staff Report to the Planning Commission provides details of the facts of the case and the Staff's analysis, conclusions, and recommendations.

CITY DEPARTMENTAL ISSUES

N/A

CONCERNS RAISED BY PUBLIC

Any comments received prior to completion of the Staff Report are addressed in the Staff Report to the Planning Commission. An email was received by SITLA, owner of the property to the east, which email expressed no concern with the proposal. Comment from a Brandon Park resident Catherine (Kitty) Brady about traffic and use of Willard Peak Drive and the gravel bike trail in Brandon Park.

APPLICANT RESPONSE

Key points addressed in the applicant's presentation to the Planning Commission included the following: Slides prepared by the applicant were included in the staff slide presentation and will be presented to the City Council. Discussion of open space, parks, and lot size.

PLANNING COMMISSION DISCUSSION

Key points discussed by the Planning Commission included the following: Lot size, zoning, including R1 lots, and the future of Lehi-Fairfield Road.

FINDINGS / BASIS OF PLANNING COMMISSION DETERMINATION

The Planning Commission identified the following findings as the basis of this decision or recommendation: compliance with EMMC standards.

Planning Director

See Key Land Use Policies of the Eagle Mountain General Plan, applicable Titles of the Eagle Mountain City Code, and the Staff Report to the Planning Commission for further detailed information.

Administrative decisions of the Planning Commission **may be appealed** by submitting an application/notice of appeal, with the required application and noticing fees to the Planning Division, **within fourteen (14) calendar days of the Planning Commission's decision** (Eagle Mountain City office hours are Monday through Friday, 7:30 a.m. to 5:30 p.m.).

BUILDING PERMITS MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS

EXHIBIT A



Eagle Mountain City

Planning Commission

Report of Action

September 10, 2024

ITEM #7.E. Matt Anderson requests site plan review and recommendation of a Granite Credit Union, located on Parcel 66:403:0103, which is behind the Maverick at Ranches Parkway and SR-73. Steven Lehmitz (801) 789-6617 slehmitz@emcity.org SITE-24-6

The following action was taken by the Planning Commission on the above-described item at its regular meeting of September 10, 2024:

RECOMMENDED APPROVAL

On a vote of 5:0, the Planning Commission recommended that the City Council approve the above-noted request with the following conditions:

1. The approval is contingent on the proposed plat amendment application being approved;
2. All mechanical equipment shall be screened and not visible from the street.

Motion By: Rod Hess (**to Recommend Approval**)

Second By: Brent Strong

Votes in Favor of Motion: Brent Strong, Rod Hess, Craig Whiting, Robert Fox, and Jason Allen

Jason Allen was present as Chair.

Includes facts of the case, analysis, conclusions and recommendations outlined in the Staff Report, with any changes noted; Planning Commission determination is generally consistent with the Staff analysis and determination.

RELATED ACTIONS

Staff is currently reviewing a recorded plat amendment application that relates to the site.

PROPOSED OCCUPANCY

5,453 square feet of office space

PROPOSED PARKING

Required: 19 (1 space per 300 square feet)

Provided: 32, 2 of which are ADA spaces

DEVELOPMENT AGREEMENT

N/A

STAFF PRESENTATION

The Staff Report to the Planning Commission provides details of the facts of the case and the Staff's analysis, conclusions, and recommendations.

CITY DEPARTMENTAL ISSUES

Only those items that are included as conditions of approval.

CONCERNS RAISED BY PUBLIC

- Robert Black, a nearby resident, wanted to know if the road the site would use was a public or private road. Staff shared the road was currently a private road and that there were internal discussions on whether that road may become a public road in the future.

APPLICANT RESPONSE

- Chris Thompson, representing the application, verified that there would be staircases at either end of the building for access to the second floor.
- Granite Credit Union will occupy the building, but haven't been decided if they will occupy both floors of the building or lease the top floor to another party.
- Mr. Thompson stated that it wouldn't be too challenging to have the mechanical equipment screened.

PLANNING COMMISSION DISCUSSION

- Commissioner Hess verified that an irrigation plan had been submitted and mentioned that the native grass the applicant is proposing is meant to grow and stay long, not needing as much water or mowing. He wanted to ensure that Neighborhood Improvement would understand what to do with that.
- Commissioner Fox confirmed the number of staircases being proposed to access the second level of the building. He also wanted to make sure that mechanical equipment would be properly screened. He asked if the parking was sufficient for both floors to be occupied, which staff verified that it would be.
- Commissioner Allen asked the applicant if they would have a difficult time with screening the mechanical equipment on the roof.

FINDINGS / BASIS OF PLANNING COMMISSION DETERMINATION

None

Planning Director

See Key Land Use Policies of the Eagle Mountain General Plan, applicable Titles of the Eagle Mountain City Code, and the Staff Report to the Planning Commission for further detailed information.

Administrative decisions of the Planning Commission **may be appealed** by submitting an application/notice of appeal, with the required application and noticing fees to the Planning Division, **within fourteen (14) calendar days of the Planning Commission's decision** (Eagle Mountain City office hours are Monday through Friday, 7:30 a.m. to 5:30 p.m.).

BUILDING PERMITS MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS



Eagle Mountain City Planning Commission Report of Action

September 10, 2024

ITEM #7D Zone map and future land use map amendments for noted parcels generally located in The Ranches and Eagle Mountain Properties MDP areas of the City. Approximately 216 acres of land are included in this proposal. The following parcels are the ones to be included: 58:033:0423, 38:302:0002, 38:685:0002, 38:685:0001, 58:033:0305, 58:034:0440, 58:034:0250, 58:034:0242, 58:040:0259, 58:040:0188, 58:040:0378, 58:040:0326, 58:040:0654, 58:040:0525, 42:050:0002, 59:045:0045, and 59:045:0006. Robert Hobbs and Brandon Larsen (801) 789-6708 blarsen@emcity.org

The following action was taken by the Planning Commission on the above-described item at its regular meeting of September 10, 2024:

RECOMMENDED APPROVAL

On a vote of **5:0**, the Planning Commission recommended that the Municipal Council approve zone and general plan map amendments for **Parcels 29-31 from the attached list of Eagle Mountain Properties, as well as Parcels 1-10 and 12-14 from the attached list of The Ranches Properties** (Tax Parcels 58:033:0423, 38:302:0002, 38:685:0002, 38:685:0001, 58:033:0305, 58:034:0440, 58:034:0250, 58:034:0242, 58:040:0259, 58:040:0188, 58:040:0326, 58:040:0654, 58:040:0525, 42:050:0002, 59:045:0045, and 59:045:0006).

Motion By: Jason Allen (**to Recommend Approval**)

Second By: Brent Strong

Votes in Favor of Motion: Rod Hess, Robert Fox, Craig Whiting, Jason Allen, and Brent Strong

Jason Allen was present as Chair.

ALSO;

The following action was taken by the Planning Commission on the above-described item at its regular meeting of September 10, 2024:

RECOMMENDED APPROVAL

On a vote of **3:2**, the Planning Commission recommended that the Municipal Council approve a zone and general plan map amendment for the parcel identified as **The Ranches Parcels 11** (58:040:0378).

Motion By: Craig Whiting (**to Recommend Approval**)

Second By: Robert Fox

Votes in Favor of Motion: Robert Fox, Craig Whiting, and Jason Allen

Votes Against Motion: Brent Strong and Rod Hess

Jason Allen was present as Chair.

Includes facts of the case, analysis, conclusions and recommendations outlined in the Staff Report, with any changes noted; Planning Commission determination is generally consistent with the Staff analysis and determination.

EXHIBIT A -- LIST OF EAGLE MOUNTAIN PROPERTIES PROPOSED TO BE REZONED

The list of proposed zone and general plan amendments are listed in the attached Exhibit A.

STAFF PRESENTATION

The Staff Report to the Planning Commission provides details of the facts of the case and the Staff's analysis, conclusions, and recommendations.

CITY DEPARTMENT ISSUES

None have been raised.

CONCERNS RAISED BY PUBLIC AT PLANNING COMMISSION PUBLIC HEARING

- Mike Geddes, representative for Cedar Development Partners, spoke about The Ranches Parcel 1 (58:033:0423). This parcel dates back many years, and was originally planned to have 135 townhomes. He questions why this parcel is zoned Commercial. He said it has been listed for 20 years with no interest. It makes more sense that this parcel be zoned Residential or Mixed Use.
- Scot Hazard, owner of The Ranches Parcels 5 and 11 (58:033:0305 and 58:040:0378), said he is okay with the proposed CN zoning for Parcel 5. However, he would like the City Code to include provisions for Mixed Use. He explained that he believes the Circle 5 preliminary plat (approved in 2007) is still vested. He requested Foothill Residential (FR) zoning for Parcel 11.
- Robert Black, asked if the rezone amendment would change the height requirement for Parcel 5. Staff explained that the height requirement for the CN Zone is 35 feet. Mr. Black expressed concern with tall structures being erected on Parcel 5. Staff let Mr. Black know that the height requirement would actually go down if the proposed rezone is approved.
- Two other individuals approached the Planning Commission, but wanted to discuss other matters not germane to this application

PLANNING COMMISSION DISCUSSION

Key points discussed by the Planning Commission included the following:

- The Planning Commission seemed to be in unity with all proposed amendments referenced in Exhibit A, with the exception of Parcel 11 of the Ranches.
- Commissioner Strong expressed a desire to see larger lots on Parcel 11, and felt the RD2 Zone would do a better job of ensuring larger lots than the FR Zone.
- Commissioner Whiting proposed FR zoning because he felt that zoning would help the applicant retain entitlements approved in 2007.

Planning Director

See Key Land Use Policies of the Eagle Mountain General Plan, applicable Titles of the Eagle Mountain City Code, and the Staff Report to the Planning Commission for further detailed information.

Administrative decisions of the Planning Commission **may be appealed** by submitting an application/notice of appeal, with the required application and noticing fees to the Planning Division, **within fourteen (14) calendar days of the Planning Commission's decision** (Eagle Mountain City office hours are Monday through Friday, 7:30 a.m. to 5:30 p.m.).

BUILDING PERMITS MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS

EXHIBIT A

See following pages

Exhibit A

Exhibit to Formal Initiation of Process to Rezone Property Letter

Rezoning of Properties

Jul-24

	Property Owner	Property #	Acreage	Existing Future Land Use Map (General Plan) Category	MDA/Current Zone	Proposed Future Land Use Map (General Plan) Category	Proposed Zone	City Code Citation for Proposed Zone (EMMC = Eagle Mountain Municipal Code)	Planning Commission Recommended GP Category	Planning Commission Recommended Zone
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Eagle Mountain Properties List

29	MONTE VISTA RANCH LC; WALDEN ESTATE LLLP	59:045:0006	0.9	Community Commercial	Eagle Mountain Properties/Commercial C- 1	No Change	CN (preferred) or CC	EMMC 17.35	Community Commercial	CN
30	CORP OF PRES BISHOP CHURCH OF JESUS CHRIST OF LDS	42:050:0002	3.1	Community Commercial	Eagle Mountain Properties/Commercial C- 1	No Change	CN	EMMC 17.35	Community Commercial	CN
31	MONTE VISTA RANCH LC	59:045:0045	0.1	Community Commercial	Eagle Mountain Properties/Commercial C- 1	No Change	CN (preferred) or CC	EMMC 17.35	Community Commercial	CN

The Ranches Properties List

1	CEDAR DEVELOPMENT PARTNERS LLC	58:033:0423	13.1	Community Commercial	The Ranches/Commercial Community	No Change	CN & CC	EMMC 17.35	Community Commercial	CN
2	DIRECT COMMUNICATIONS CEDAR VALLEY LLC	38:302:0002	2.2	Community Commercial	The Ranches/Commercial	No Change	CC	EMMC 17.35	Community Commercial	CC
3	TACOS DON LUIS LLC	38:685:0002	1.2	Community Commercial	The Ranches/Commercial	No Change	CC	EMMC 17.35	Community Commercial	CC
4	T JOHNSON MANAGEMENT LLC	38:685:0001	1.3	Community Commercial	The Ranches/Commercial	No Change	CC	EMMC 17.35	Community Commercial	CC

Exhibit to Formal Initiation of Process to Rezone Property Letter

Rezoning of Properties

Jul-24

	Property Owner	Property #	Acreage	Existing Future Land Use Map (General Plan) Category	MDA/Current Zone	Proposed Future Land Use Map (General Plan) Category	Proposed Zone	City Code Citation for Proposed Zone (EMMC = Eagle Mountain Municipal Code)	Planning Commission Recommended GP Category	Planning Commission Recommended Zone
5	BELLE STREET INVESTMENTS LLC	58:033:0305	2.4	Community Commercial	The Ranches/Commercial	Community Commercial	CN	EMMC 17.35	Community Commercial	CN
6	VDP INVESTMENT LLC	58:034:0440	1.0	Community Commercial	The Ranches/Village Core Commercial	No Change	CN	EMMC 17.35	Community Commercial	CN
7	EAGLE11 LLC	58:034:0250	1.1	Community Commercial	The Ranches/Village Core Commercial	No Change	CC	EMMC 17.35	Community Commercial	CC
8	EAGLE11 LLC	58:034:0242	2.7	Community Commercial	The Ranches/Village Core Commercial	No Change	CC	EMMC 17.35	Community Commercial	CC
9	THOMAS, HOLLY; THOMAS, NOLAN	58:040:0259	1.6	Parks and Open Space	The Ranches/Community Open Space	No Change	AG	EMMC 17.20	Parks and Open Space	AG
10	THOMAS, HOLLY; THOMAS, NOLAN	58:040:0188	7.5	Parks and Open Space	The Ranches/Community Open Space	No Change	AG	EMMC 17.20	Parks and Open Space	AG
11	BELLE STREET INVESTMENTS LLC	58:040:0378	108.4	Foothill Residential	The Ranches/Community Open Space & Country Residential	No change	RD2 & OSN	EMMC 17.23 / 17.25	Foothill Residential	FR
12	KDC HOLDINGS LLC	58:040:0326	27.4	Community Commercial	The Ranches/Commercial	No Change	CC	EMMC 17.35	Community Commercial	CC
13	CADENCE HOMES BUILDING CORP	58:040:654	32.4	Neighborhood Residential 1, Parks and Open Space, Foothill Residential	The Ranches/Community Open Space & Village Core	Parks and Open Space	OSN & AG(Roads)	EMMC 17.20 / 17.23	Parks and Open Space	OS-N
14	SHUPE BUILDERS LLC	58:040:0525	9.7	Parks and Open Space	The Ranches/Community Open Space	No Change	OSN	EMMC 17.23	Parks and Open Space	OS-N



Eagle Mountain City Planning Commission Report of Action

September 10, 2024

ITEM #7B Forest Gaskill requests Master Site Plan approval of commercial development on Parcels 59:044:0041, 59:044:0175, 59:044:0176, 59:044:0112, 53:228:0001, 53:228:0002, 53:228:0003, and 53:228:0004. This project includes 19.26 acres and is located at Eagle Mountain Boulevard and Pony Express Parkway. (801) 789-6615 dstroud@emcity.org Site-24-4

The following action was taken by the Planning Commission on the above-described item at its regular meeting of September 10, 2024:

MOTION FAILURE TO RECOMMENDED APPROVAL (DENY)

On a vote of 2-3, the Planning Commission motion of approval to the City Council failed.

Motion By: Jason Allen (**to Recommend Approval**)

Second By: Robert Fox

Votes in Favor of Motion: Jason Allen, Robert Fox

Votes Against the Motion: Rod Hess, Craig Whiting, Brent Strong

Jason Allen was present as Chair.

Includes facts of the case, analysis, conclusions and recommendations outlined in the Staff Report, with any changes noted; Planning Commission determination is generally not consistent with the Staff analysis and determination.

LEGAL DESCRIPTION FOR PROPERTY TO BE REZONED

The subject property is identified in Exhibit A.

DEVELOPMENT AGREEMENT

Applies - referred applicant to Council Attorney.

STAFF PRESENTATION

The Staff Report to the Planning Commission provides details of the facts of the case and the Staff's analysis, conclusions,

and recommendations.

CITY DEPARTMENTAL ISSUES

There are remaining issues from the Development Review Committee (DRC) review that need to be resolved. Redlines to be corrected prior to scheduling with City Council.

CONCERNS RAISED BY PUBLIC

No comments.

APPLICANT RESPONSE

Key points addressed in the applicant's presentation to the Planning Commission included the following:
Forest Gaskill has tenants ready to locate in the city and due to contractual issues, cannot be located in the Macey's development – Marketplace at Eagle Mountain. Five lots are the first phase.

PLANNING COMMISSION DISCUSSION

Key points discussed by the Planning Commission included the following:

- Look and feel of commercial should be different and not drive-through oriented at this location.
- The Planning Commission likes the access and roundabout setup.

FINDINGS / BASIS OF PLANNING COMMISSION DETERMINATION

The Planning Commission identified the following findings as the basis of this decision or recommendation:

The vote to recommend approval failed by a vote of 2:3, with the dissenting votes giving reasons of not the right place for drive through oriented commercial development.

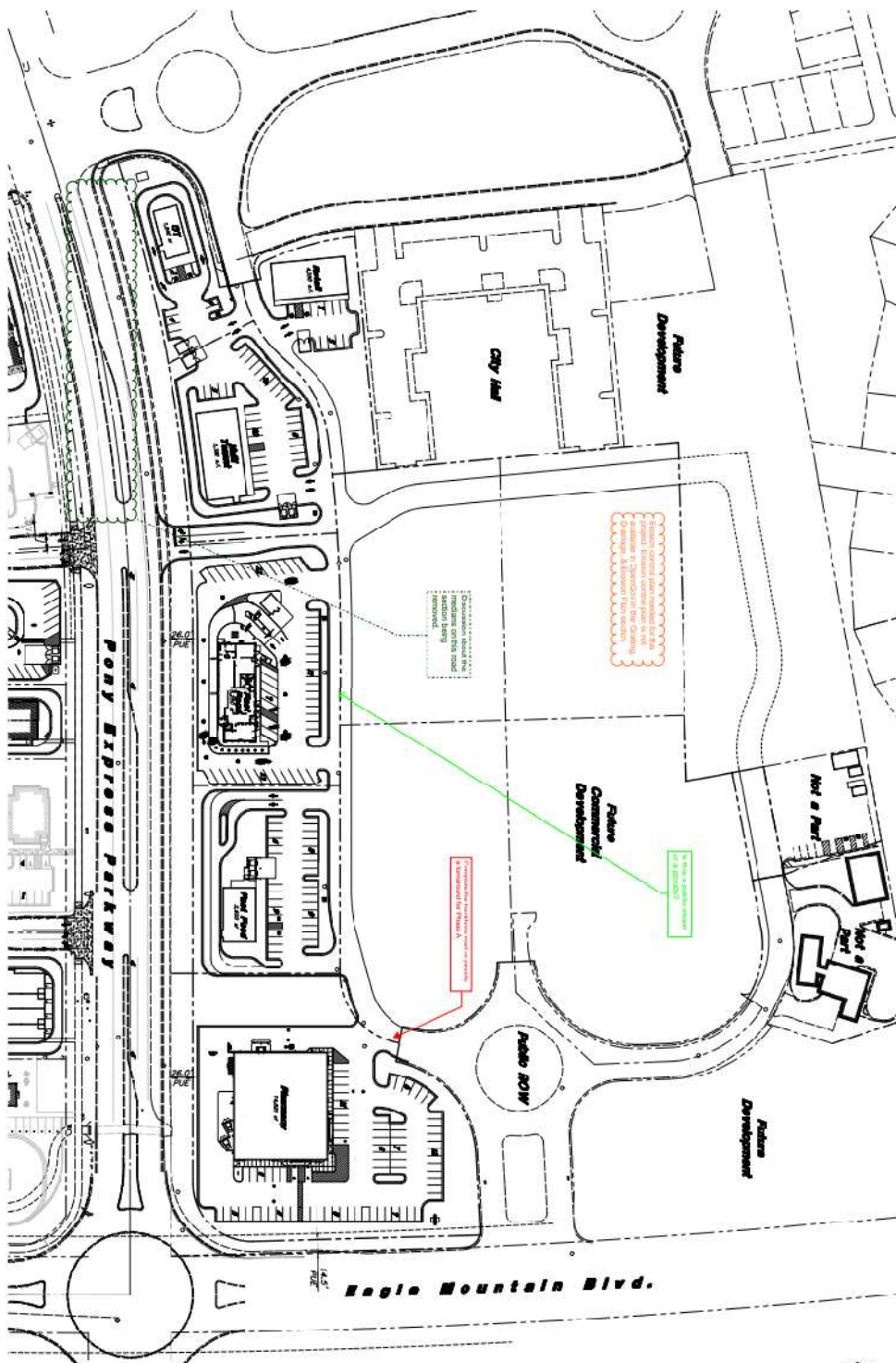
Planning Director

See Key Land Use Policies of the Eagle Mountain General Plan, applicable Titles of the Eagle Mountain City Code, and the Staff Report to the Planning Commission for further detailed information.

Administrative decisions of the Planning Commission **may be appealed** by submitting an application/notice of appeal, with the required application and noticing fees to the Planning Division, **within fourteen (14) calendar days of the Planning Commission's decision** (Eagle Mountain City office hours are Monday through Friday, 7:30 a.m. to 5:30 p.m.).

BUILDING PERMITS MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS

EXHIBIT A





Eagle Mountain City Planning Commission Report of Action

September 10, 2024

ITEM #7A Chase Bryan requests concept plat feedback of Gardner Farms, a 160-acre master plan containing single-family, multi-family stacked and townhome dwellings. Commercial is proposed along Eagle Mountain Boulevard as well as property under the ownership of Intermountain Healthcare on Parcels 58:049:0103 and 58:049:0104, 160 acres. (801) 789-6615 dstroud@emcity.org.

The following action was taken by the Planning Commission on the above-described item at its regular meeting of September 10, 2024:

CONCEPT

Jason Allen was present as Chair.

Includes facts of the case, analysis, conclusions and recommendations outlined in the Staff Report, with any changes noted; Planning Commission determination is generally not consistent with the Staff analysis and determination.

LEGAL DESCRIPTION FOR PROPERTY TO BE REZONED

The subject property is identified in Exhibit A.

MASTER DEVELOPMENT AGREEMENT

Applies - referred applicant to Council Attorney.

STAFF PRESENTATION

The Staff Report to the Planning Commission provides details of the facts of the case and the Staff's analysis, conclusions, and recommendations.

CITY DEPARTMENTAL ISSUES

This is a concept level review to receive feedback on the density, zones, lot, and road layout. A full review of complete EMMC standards is not completed at this time.

CONCERNS RAISED BY PUBLIC

Not a public hearing.

APPLICANT RESPONSE

Changes to the plan based on feedback from previous PC and Council meetings. Applicant also has met with Council individually to discuss what is desired. Discussed why this location and such zones.

PLANNING COMMISSION DISCUSSION

Key points discussed by the Planning Commission included the following:

- Access points into the project.
- Changes from the previous plan?
- Good location for a future hospital and commercial along EM Blvd. Density is in the proper location.
- Concern with IHC if no hospital is constructed. Density if a hospital is constructed is acceptable.
- Senior housing adjacent to a hospital is desired.
- What happens if IHC does not build?
- Too zoomed in regarding detail. Look at a higher level of the concept.
- MDA to guide uses?
- Discussion of undesired uses.

FINDINGS / BASIS OF PLANNING COMMISSION DETERMINATION

Discussion item only.

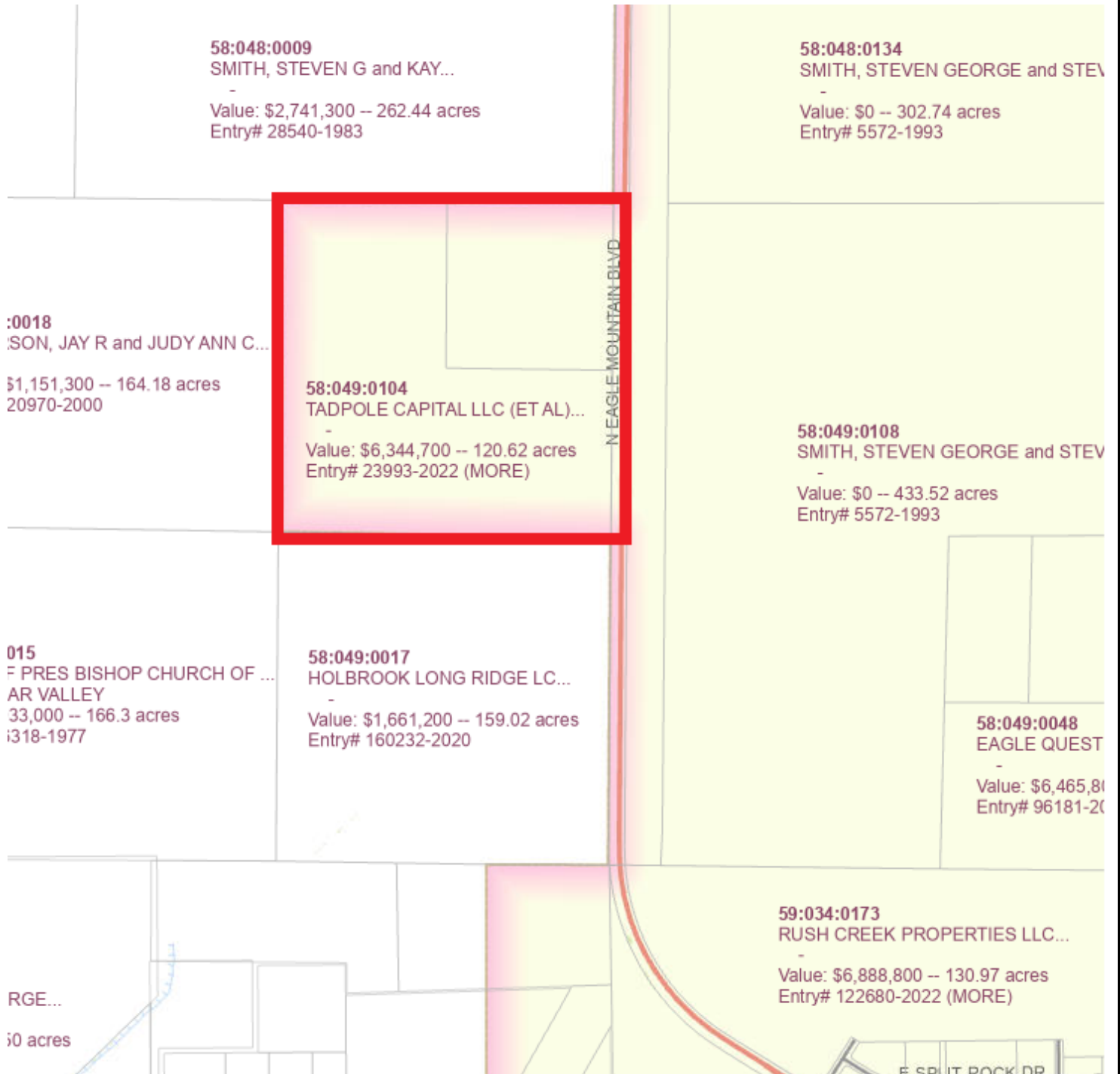
Planning Director

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BUILDING PERMITS MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS

EXHIBIT A





**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
SEPTEMBER 24, 2024**

TITLE:	Dutch Bros Site Plan
ITEM TYPE:	Site Plan
FISCAL IMPACT:	N/A
APPLICANT:	Forrest Gaskill

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
General Plan Designation: Community Commercial Zone: Commercial Community	0.82 Acres

PUBLIC HEARING

Yes

PREPARED BY

Steven Lehmitz, Planner

PRESENTED BY

Steven Lehmitz

RECOMMENDATION:

Staff recommends that the Planning Commission forward a positive recommendation to the City Council of the Dutch Bros site plan with the following conditions:

1. The internal roadway in Area A is completed before a certificate of occupancy is issued (Marketplace ARMDA);
2. The external wall in Area A is completed before a certificate of occupancy is issued (Marketplace ARMDA).

BACKGROUND:

Site plan review and recommendation of a Dutch Bros, located at 1231 E. Eagle Mountain Boulevard (Parcel No. 59:044:0189).

ITEMS FOR CONSIDERATION:

EMMC 17.100.050 Site plan development standards. The following are standards required for all site plans in any zoning district:

- A. Use of Property -- Complies
- B. Screening Requirements -- Complies
- C. Access Requirements -- Complies
- D. Off-Street Truck Loading Space -- Complies
- E. Utilities -- Complies
- F. Grading and Drainage -- Complies
- G. Dedication of Water Shares -- Will be ensured prior to building permit issuance
- H. Protection of Steep Slopes and Natural Drainages -- N/A

EMMC 17.100.060 Architectural requirements.

- A. Mechanical Equipment -- Complies
- B. Windows -- Complies

- C. Building Lighting -- Complies
- D. Trash Enclosures, Storage Areas, and External Structures -- Complies
- E. Exterior Materials -- Complies
- F. Landscape Guidelines -- Complies
- G. Parking Lot and Street Lighting -- Complies
- H. Enclosed Uses -- Complies
- I. Businesses Moving into Existing Buildings -- N/A
- J. Nuisances -- Complies

EMMC 17.72.030 Site design.

- A. Building Location -- Complies
- B. Commercial Parking Location -- Complies

EMMC 17.72.040 Architectural standards.

- A. Architectural Style/Theme -- Complies
- B. Main Entrance -- Complies
- C. Roof Design -- Complies
- D. Building Articulation -- Complies
- E. Architectural Detailing -- Complies
- F. Building Materials -- Complies
- G. Building Color -- Complies
- I. Lighting -- Complies
- K. Mechanical Equipment -- Complies
- L. Storage, Loading Areas, and Trash Enclosures -- Complies

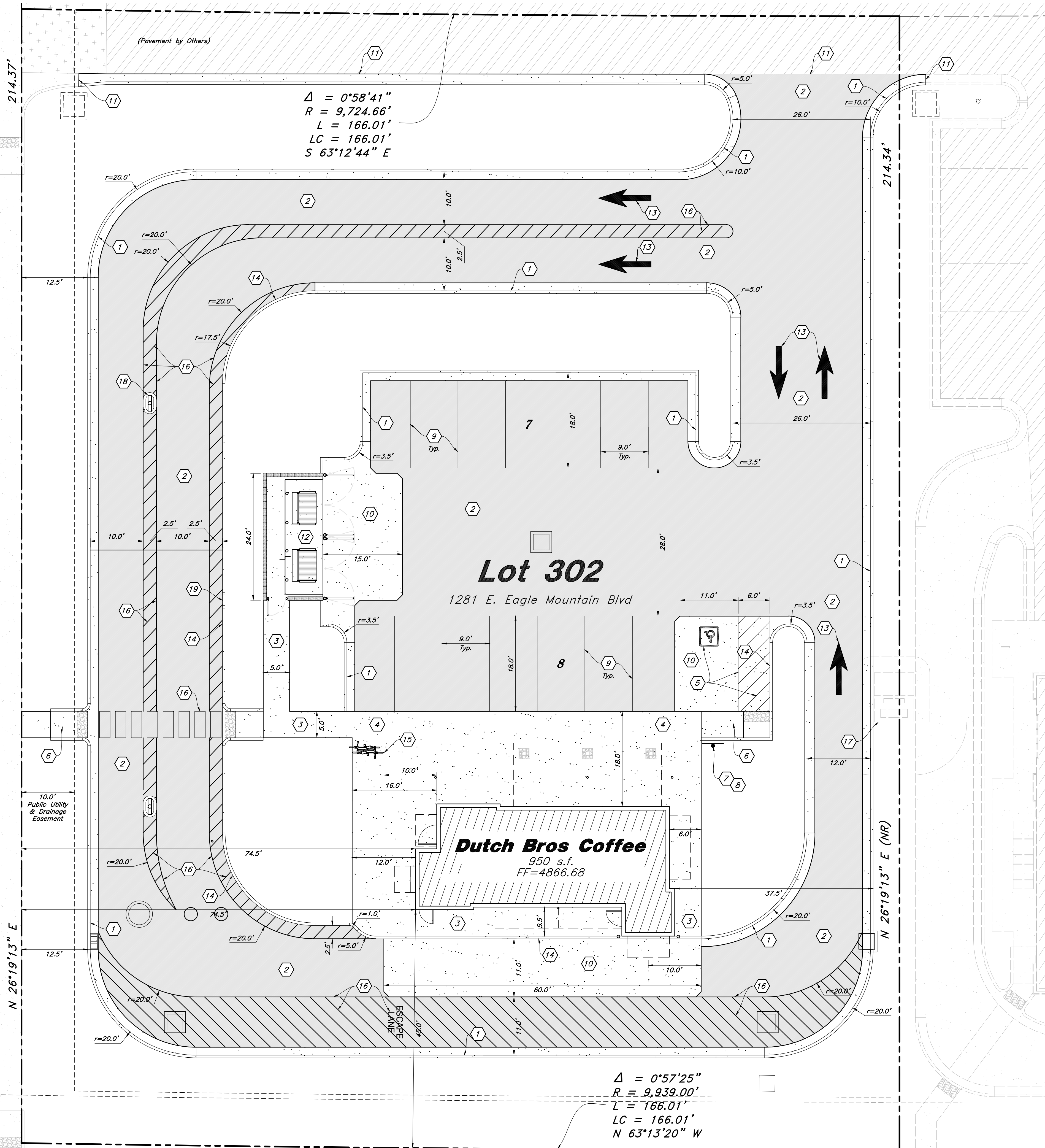
EMMC 17.55 Off-street Parking -- Complies

PLANNING COMMISSION ACTION/RECOMMENDATION:

ATTACHMENTS:

1. Site Plan - Dutch Bros
2. Elevations - Dutch Bros
3. Landscape Plan - Dutch Bros
4. Vicinity Maps - Dutch Bros

Raven Drive



Site Data

Site Area = 35,583 s.f. (0.817 ac.)

Landscape Area Provided = 12,010 s.f. (33.75%)

Impervious Area Provided = 22,623 s.f. (63.58%)

Building Area = 950 s.f. (2.67%)

Parking Required = 1/125 s.f. = 8 stalls

Parking Provided = 15 stalls (1.97/125)

Hatch Legend

	Standard Asphalt Paving
	Heavy Duty Asphalt Paving
	Existing Asphalt Paving
	Standard Concrete Paving
	Existing Concrete Paving
	Building Interior

Scale: 1" = 10'



Site Construction Notes

- Const. 24" Curb & Gutter (C4.1)
- Const. Asphalt Paving (C4.1)
- Const. Conc. Sidewalk (C4.1)
- Const. Thickened Edge Sidewalk (C4.1)
- Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
- Const. Accessible Curb Ramp and Truncated Domes per ICC/ANSI A117.1 (Latest Edition) (See Grading Plan)
- Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
- Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
- Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. Dry Thickness (Two Coats) (C4.1)
- Const. Conc. Paving (C4.1)
- Conn. & Match Existing Improvements
- Dumpster Enclosure (See Arch. Plans)
- Const. Directional Arrows per MUTCD
- Const. 6" Curb Wall (C4.1)
- Const. Bike Rack
- Coordinate Striping with Architect
- Transformer Location
- Const. Menu Board without Speaker
- Const. 24" Curb Cut (C4.1)

General Site Notes:

- All dimensions are to face of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

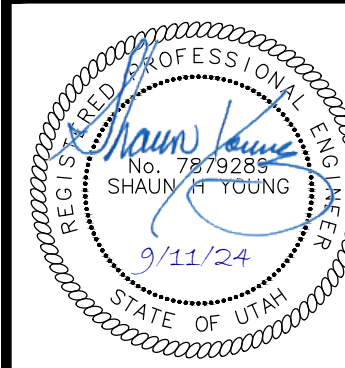
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Site Plan

Dutch Bros Eagle Mountain

1281 East Eagle Mountain Boulevard
Eagle Mountain, Utah

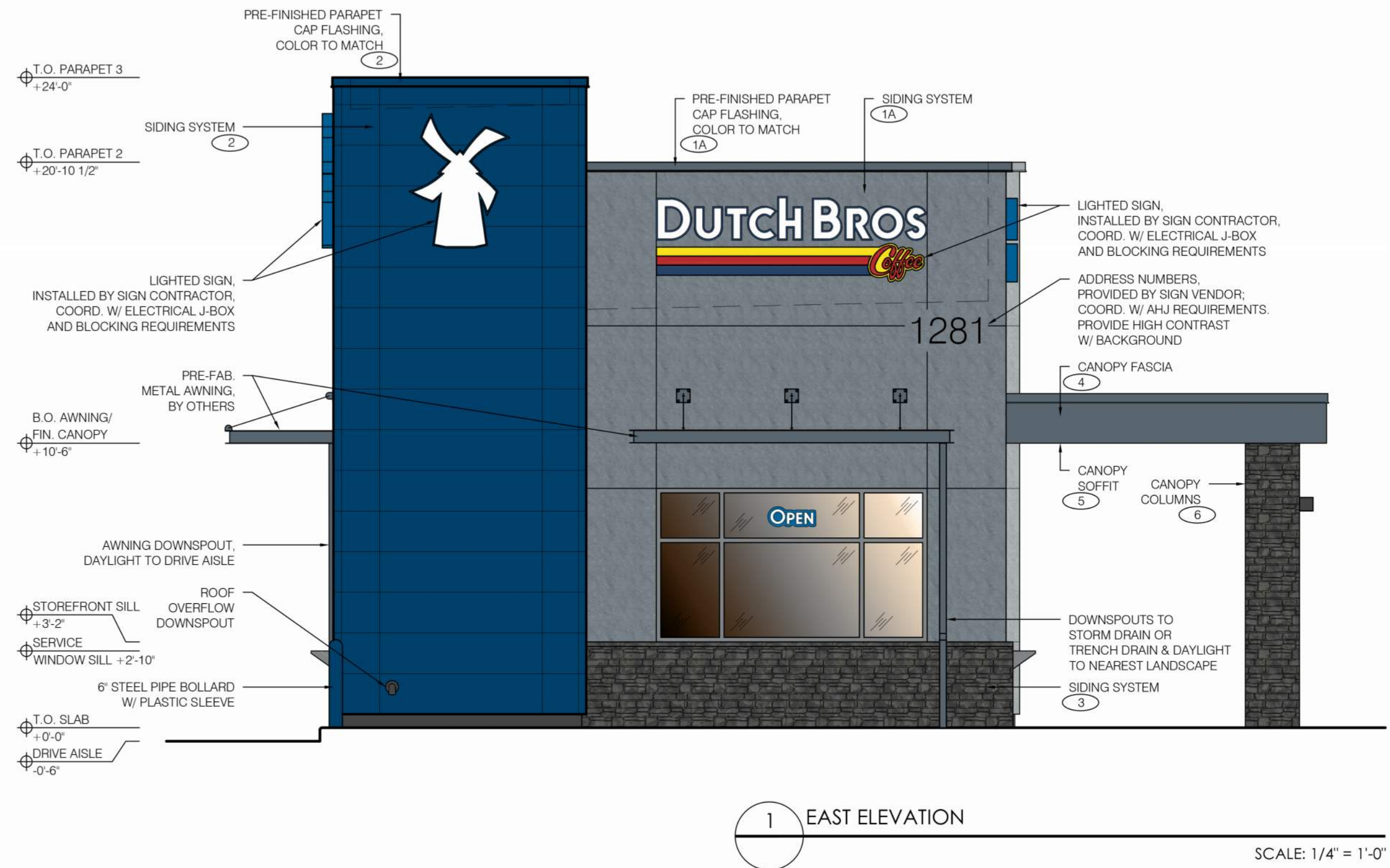
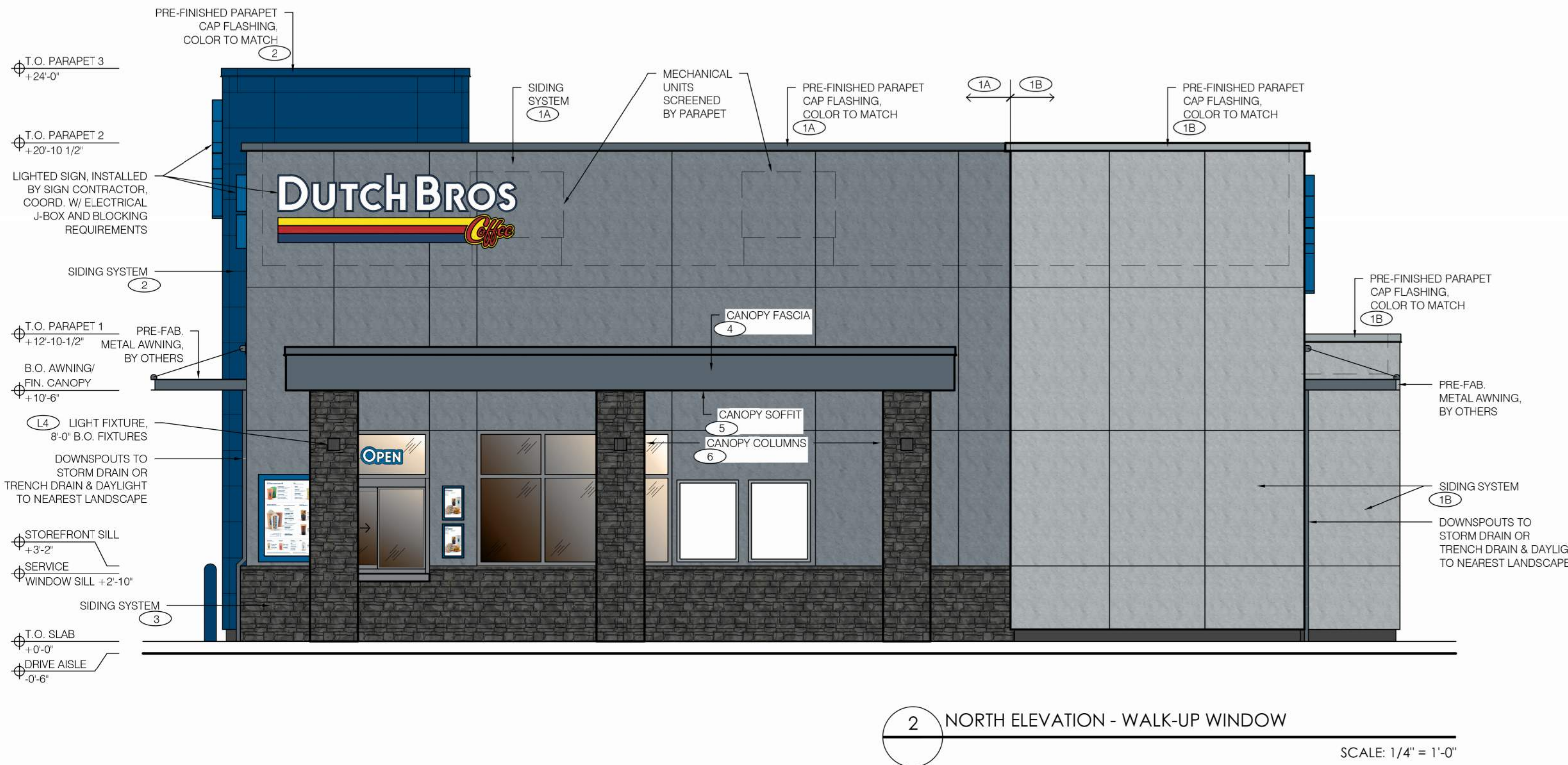
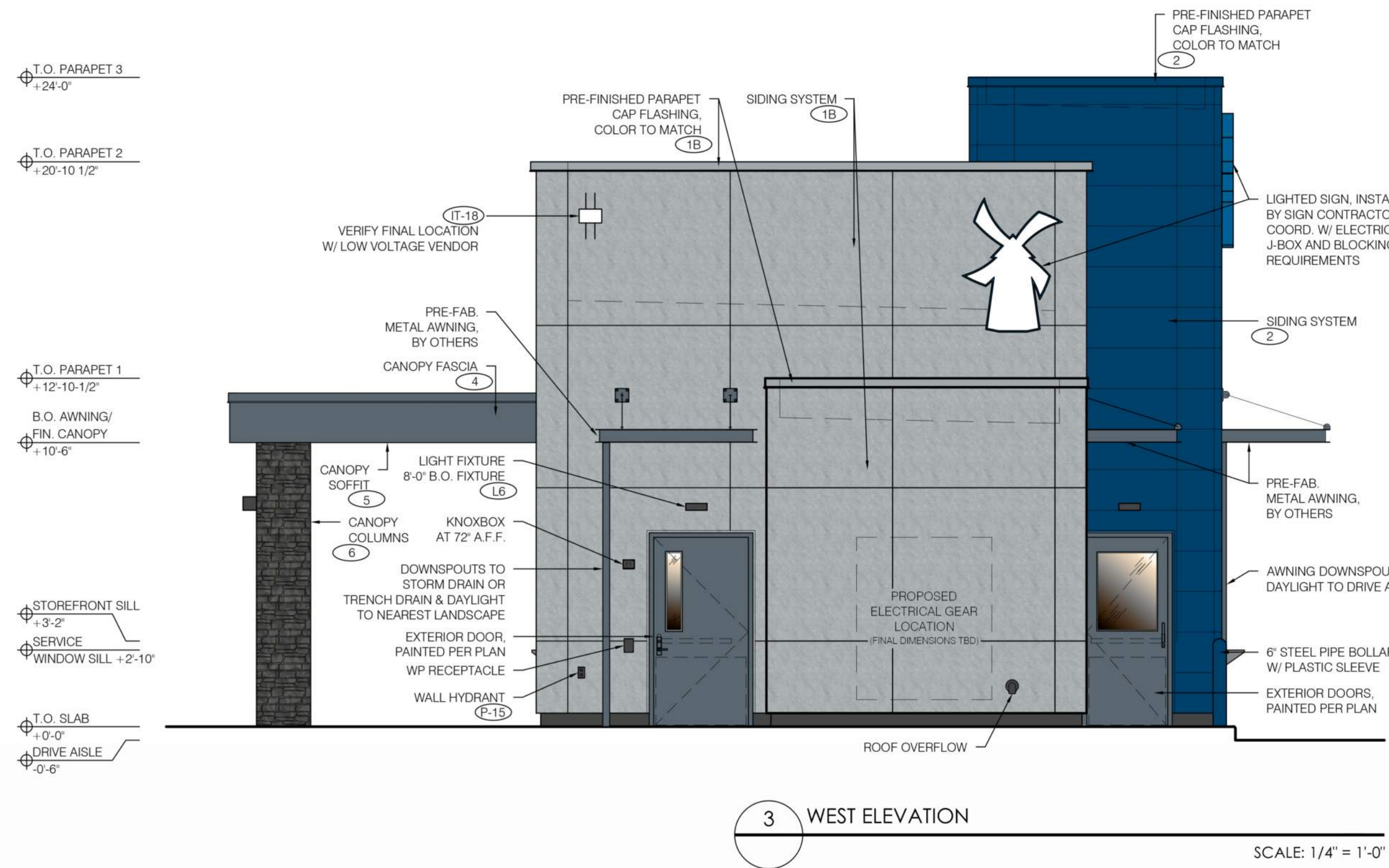
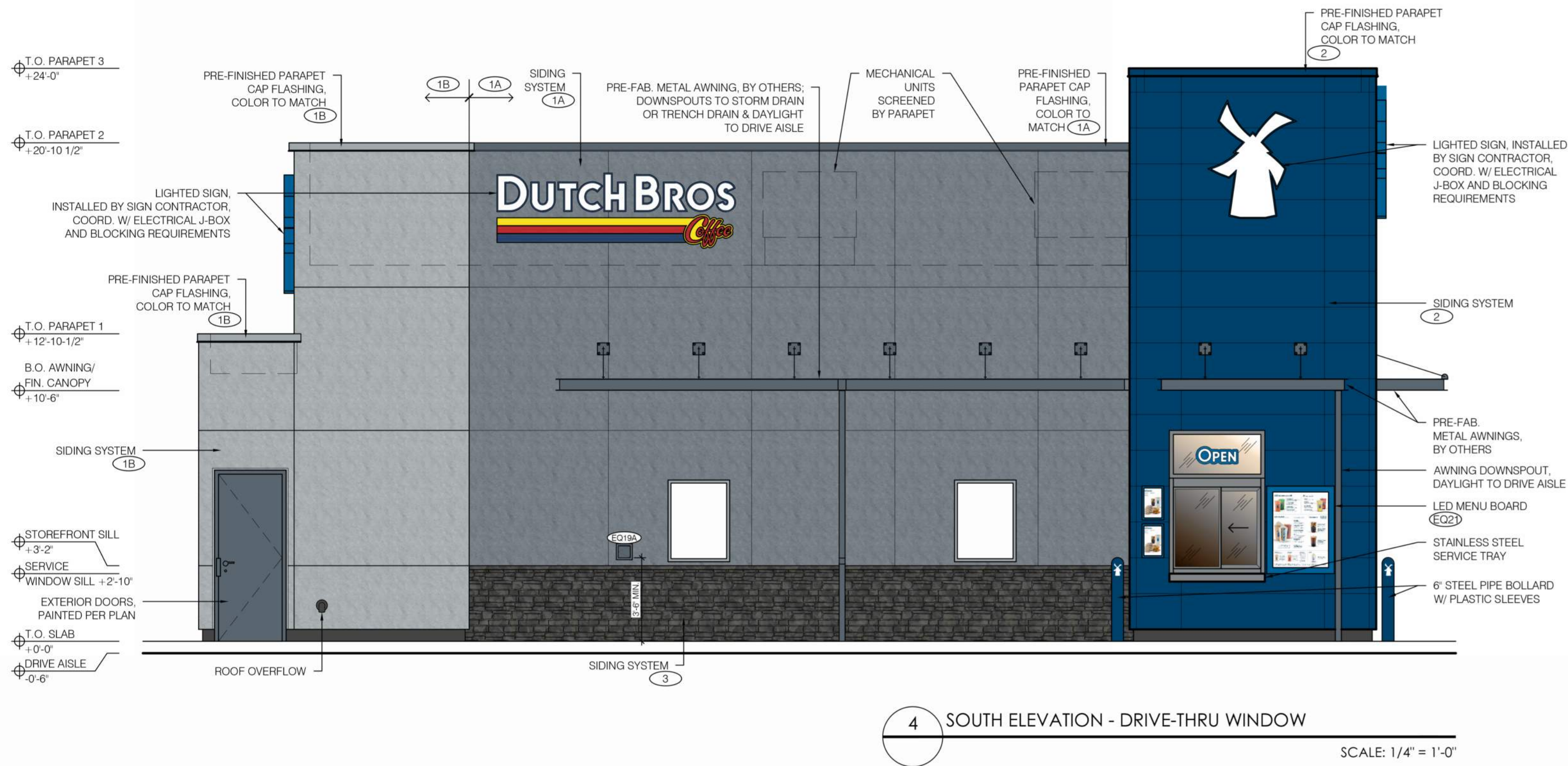


29 July, 2024

SHEET NO.

C1.1

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EXTERIOR FINISH SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH, REVEALS AS SHOWN	PAINTED; COLOR: BLDG DB DARK GRAY
1B	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH, REVEALS AS SHOWN	PAINTED; COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ FACTORY PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				
NOTE: SIGNAGE UNDER SEPARATE PERMIT				



1001 SE SANDY BLVD, SUITE 100
PORTLAND, OR 97214
V. 503.552.9079
F. 503.241.7055
WWW.GNICHARCH.COM

Project No: UT0406
Dutch Bros Coffee - New Freestanding Store
1281 E. Eagle Mountain Blvd.
Eagle Mountain, UT 84005
For: EM Commercial Development, LLC.
2530 S West Temple St.
South Salt Lake, UT 84115

ISSUED FOR SITE PLAN
REVIEW: 09.13.2024

REV.	DATE	DESCRIPTION

SHEET NAME:

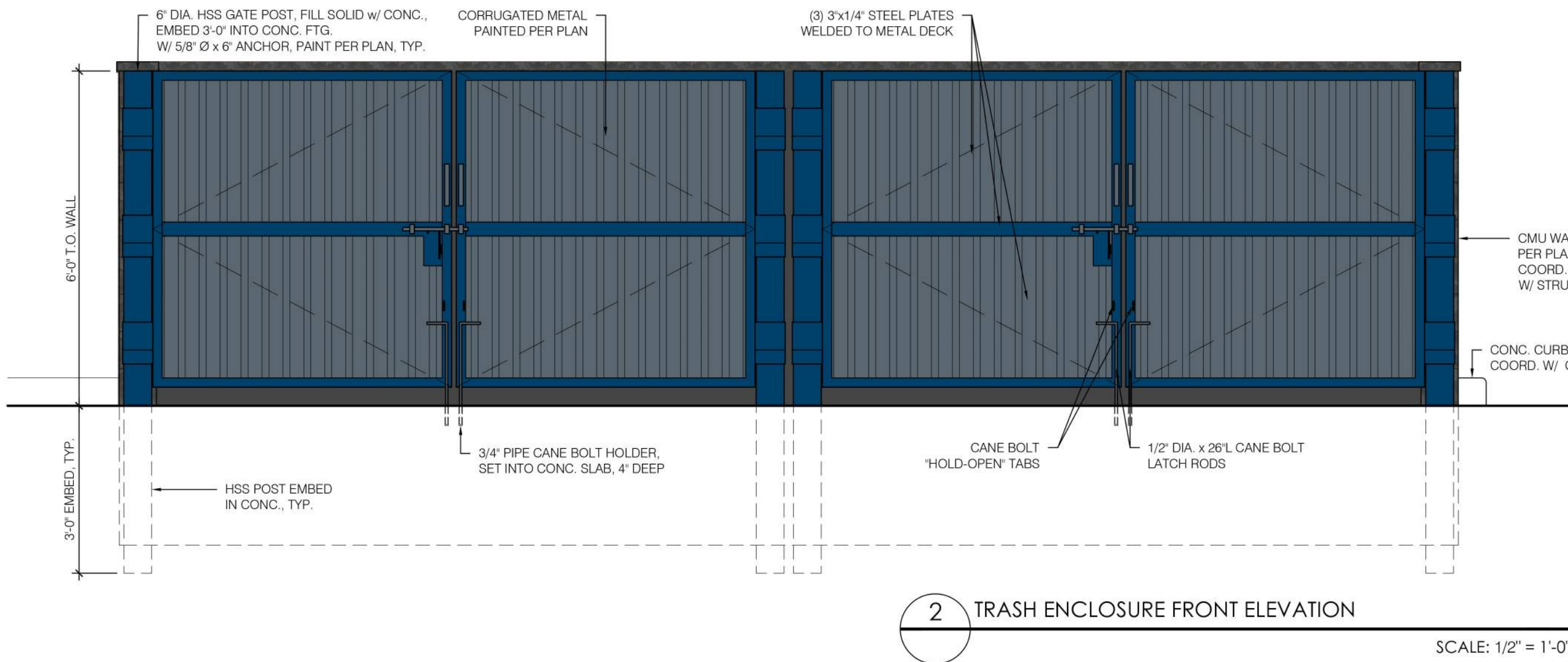
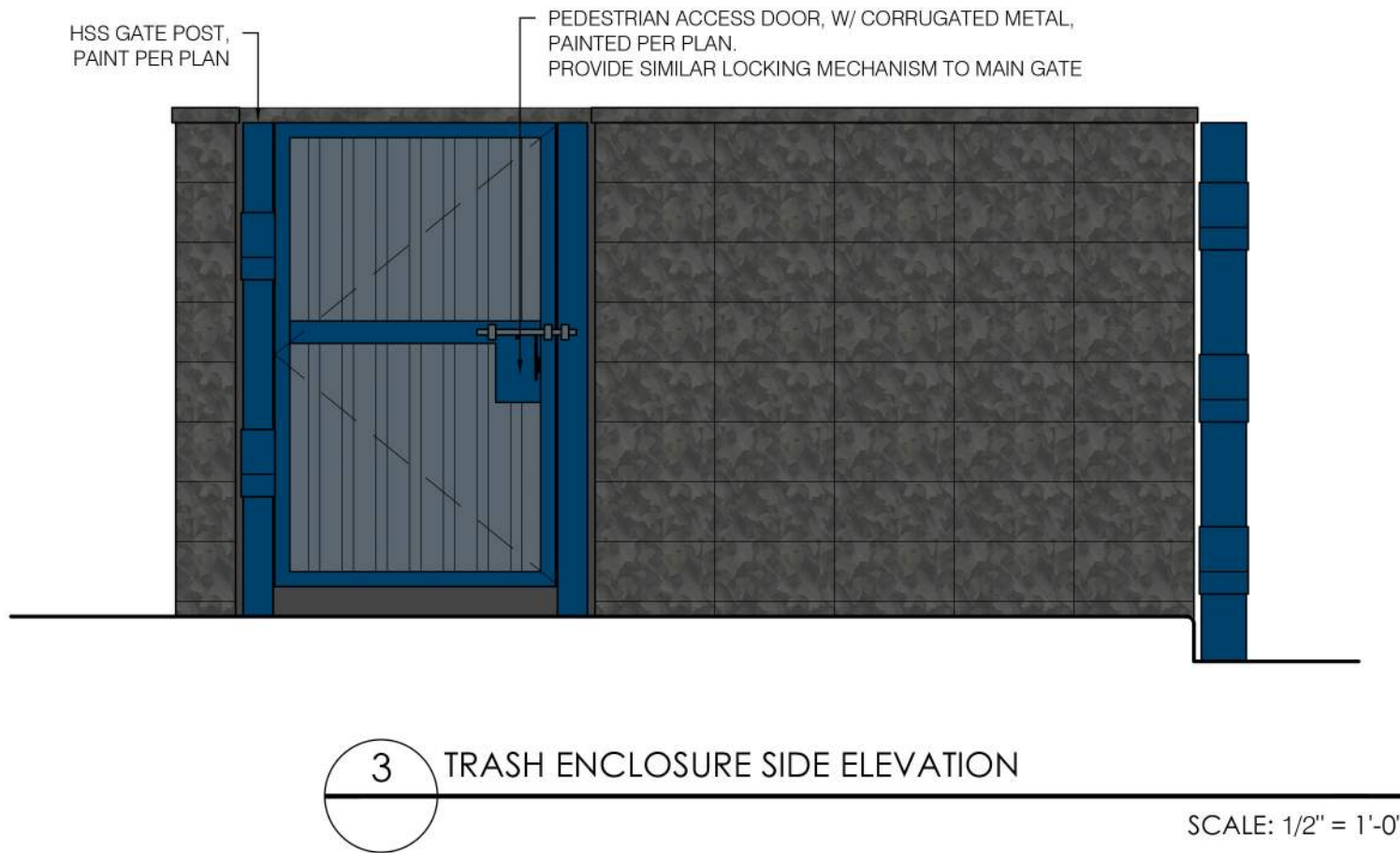
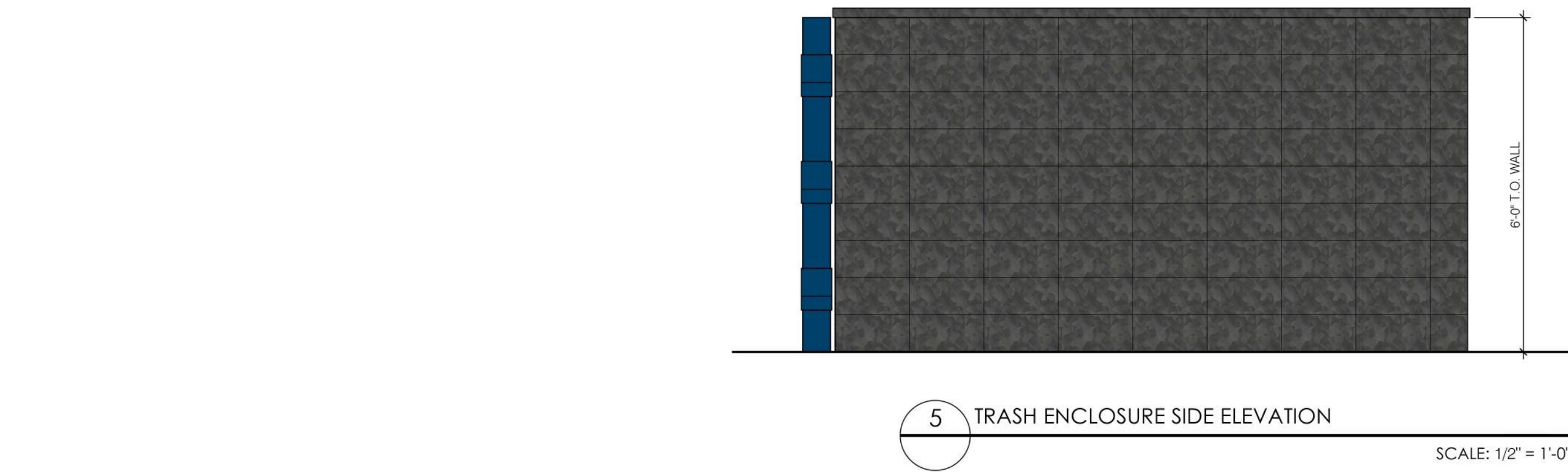
BUILDING ELEVATIONS

SHEET NUMBER:

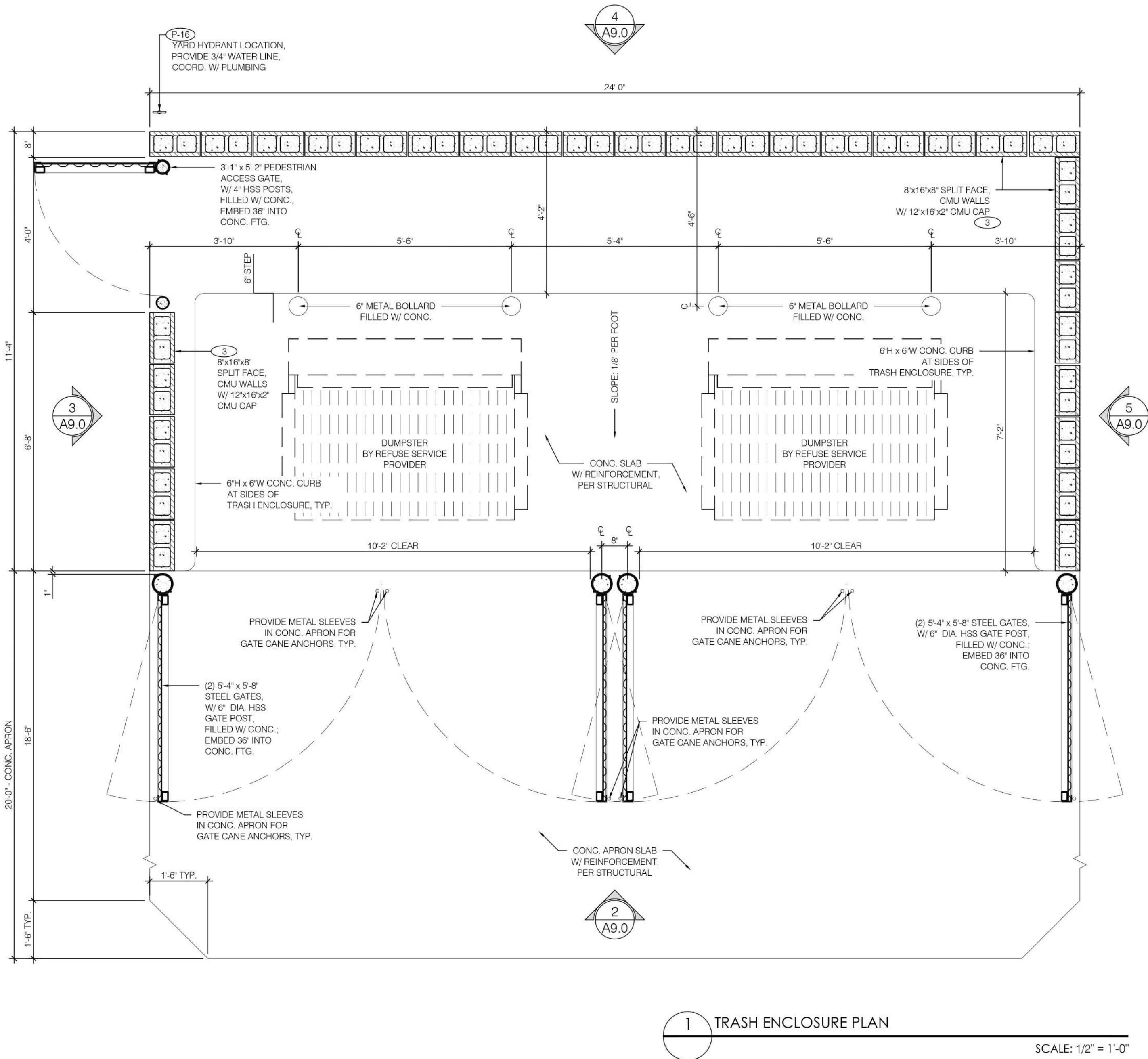
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TRASH ENCLOSURE MATERIALS				
	ID	MATERIAL	MANUFACTURER	COLOR
OPTION A	3	CMU BLOCK	BASALITE	490
		CMU CAP	BASALITE	490
	PT-2	PAINT	SHERWIN-WILLIAMS	8556-11295
	PT-3	PAINT	SHERWIN-WILLIAM	8556-12045
OPTION B 24x12' KNOTWOOD TRASH ENCLOSURE; IF APPROVED BY AHJ & REFUSE SERVICE PROVIDER				
OPTION C 24x12' STONECOAT TRASH ENCLOSURE; IF APPROVED BY AHJ & REFUSE SERVICE PROVIDER				



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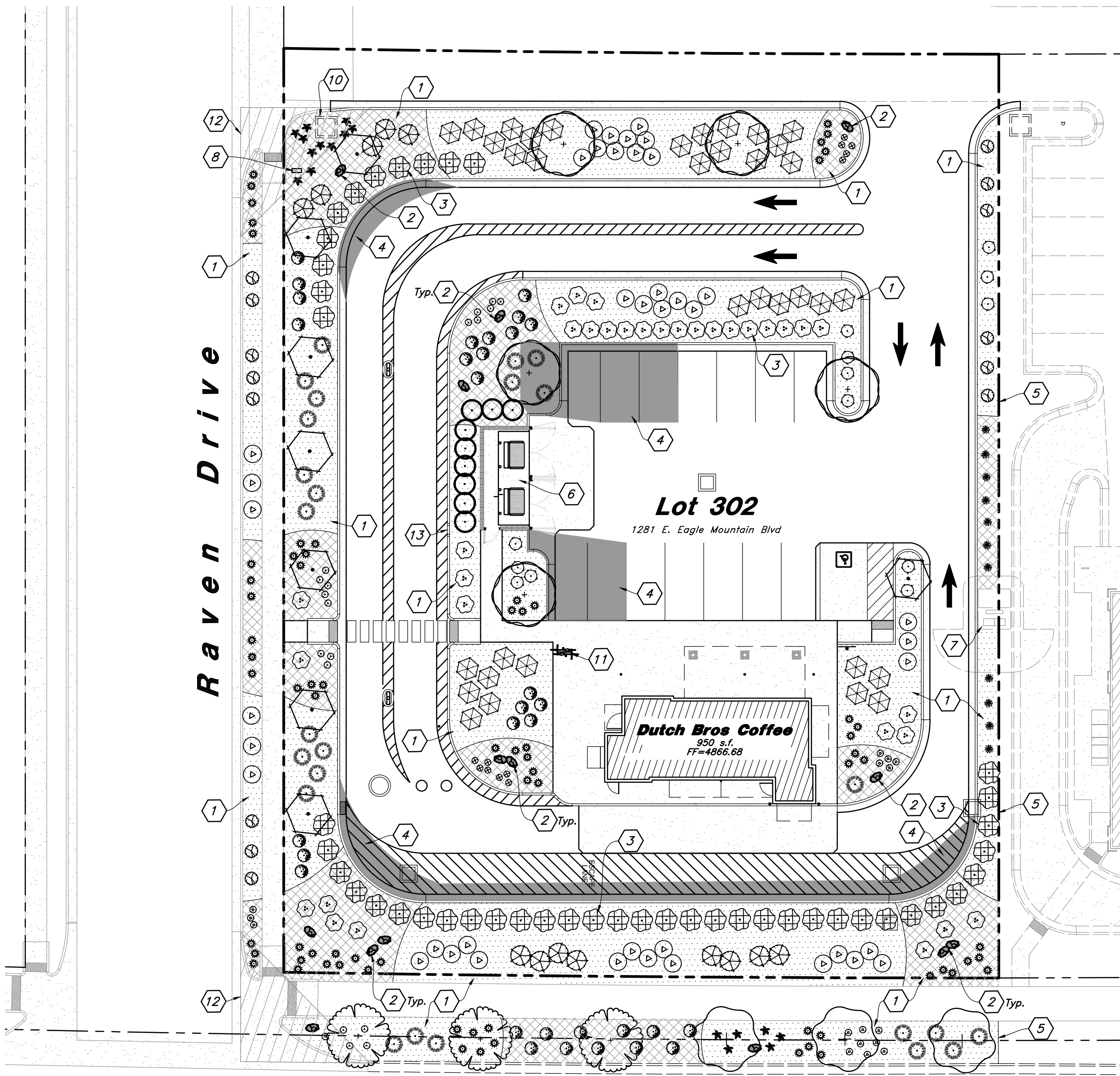
REV:	DATE:	DESCRIPTION:

SHEET NAME:

TRASH ENCLOSURE
PLAN/ ELEVATIONS

SHEET NUMBER:

A9.2
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Eagle Mountain Boulevard

General Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a plant deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurseryman, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.

- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Existing and/or imported topsoil shall be used for all landscape areas. The topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on the existing/imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils. Remove all construction debris and foreign material.
- Provide an eight (8) inch depth of imported topsoil in all shrub areas and twelve (12) inches in parking islands.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from plant and tree pit and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
- All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and removed from the tree.
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt Pro5 weed barrier. Sections of weed barrier shall overlap six (6) inches and be staked down using triangular spacing. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas. No edging shall be used between different stone types. Provide a defined edge between stone.
- All deciduous trees shall be double staked per tree staking details. Tree stakes shall be wood and ties shall be V.I.T. Cinche Ties #CT32. Tree ties shall be installed loosely to allow the tree to move. It is the contractors responsibility to remove tree staking after one year warranty period.
- Bury 2 inches of boulder height into soil, keeping best visual side above ground. Use care to minimize marring and scratching.
- Landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance.

PLANT SCHEDULE All Plant Material Has Been Selected From the West Jordan Conservation Garden Park Plant List

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE	WATER REQUIREMENT	PLANT COVERAGE
TREES						
	3	Acer grandidentatum 'Schmidt' / Rocky Mountain Glow Maple	2" Caliper	20' (H) x 15' (W)	Low	---
	9	Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Pine	6-8' Ht.	15' (H) x 6' (W)	Low	---
	8	Quercus robur 'Fastigiata' / Skyrocket English Oak	2" Caliper	25' (H) x 10' (W)	Low	---
	3	Tilia cordata 'Halka' / Summer Sprite Littleleaf Linden	2" Caliper	20' (H) x 14' (W)	Low	---
	5	Zelkova serrata 'Village Green' / Village Green Japanese Zelkova	2" Caliper	30' (H) x 20' (W)	Low	---
SHRUBS						
	41	Caragana frutex 'Globosa' / Globe Russian Peashrub	5 gal	48" (H) x 48" (W)	Very Low	16 s.f. (720)
	14	Caryopteris x clandonensis 'CT-9-12' / Beyond Midnight Bluebeard	5 gal	30" (H) x 30" (W)	Low	6.5 s.f. (91)
	13	Chamaebatiaria millefolium / Fernbush	5 gal	60" (H) x 60" (W)	Very Low	25 s.f. (325)
	33	Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark	5 gal	48" (H) x 48" (W)	Low	16 s.f. (528)
	32	Spiraea betulifolia 'Tor' / White Frost Birchleaf Spiraea	5 gal	36" (H) x 36" (W)	Low	9 s.f. (288)
	13	Spiraea japonica 'Galen' / Double Play Artisan Spiraea	5 gal	36" (H) x 36" (W)	Low	9 s.f. (117)
GROUND COVER						
	41	Arctostaphylos x coloradensis 'Panchito' / Panchito Manzanita	5 gal	12" (H) x 60" (W)	Low	25 s.f. (1,025)
	25	Juniperus sabina 'Buffalo' / Buffalo Juniper	5 gal	12" (H) x 64" (W)	Very Low	64 s.f. (1,600)
	35	Rhus aromatica Autumn Amber / Autumn Amber Sumac	5 gal	10" (H) x 64" (W)	Low	64 s.f. (2,240 s.f.)
ORNAMENTAL GRASSES						
	73	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	5 gal	12" (H) x 18" (W)	Low	2.5 s.f. (183)
	11	Calamagrostis x acutiflora 'Karl Foerster' / Karl Forester Grass	5 gal	48" (H) x 30" (W)	Low	6.25 s.f. (69)
PERENNIALS						
	16	Achillea x 'Moonshine' / Moonshine Yarrow	1 gal	18" (H) x 12" (W)	Low	1 s.f. (16)
	17	Gaillardia aristata 'Arizona Sun' / Arizona Sun Blanket Flower	1 gal	12" (H) x 24" (W)	Low	4 s.f. (68)
	19	Lavandula angustifolia 'Betty's Blue' / Betty's Blue English Lavender	1 gal	12" (H) x 24" (W)	Low	4 s.f. (76)
	12	Salvia nemorosa 'May Night' / May Night Salvia	1 gal	18" (H) x 24" (W)	Low	4 s.f. (48)
						7,394 s.f. Total

All Plant Material Has Been Selected From the West Jordan Valley Water Conservancy District Low and Very Low Water Usage Plant List. Source for Plant List Approved by the City Biologist.

MATERIAL SCHEDULE

- 1" to 2" Dia. Decorative Stone #1 - Install a Four (4) inch depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be Fractured Earth Tone/Tan Colors From Utah Landscaping Rock (South Towne (Earth Tone Color with a Pink Accent))

Detail: 4/L3.1
- 4" to 8" Dia. Decorative Cobble Stone #2 - Install over Dewitt Pro5 Weed Barrier and Make Sure it Covers Weed Barrier; Carefully Place Around Plant Material; Stone Shall be Used in all Planting Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be From Utah Landscaping Rock (South Towne (Earth Tone Color with a Pink Accent))

Detail: 4/L3.1
- Landscape Accent Boulders - Boulders Shall be 3-4' in Diameter, Fractured and Match Proposed Stone; Boulders Shall be Recessed into the Stone Two (2) Inches and Not Set on Top of Stone; No Boulder Shall be Placed Adjacent to a Curb Where a Car Could Potential Hit With Bumper

Detail: 5/L3.1

Landscape Maintenance:

The Site Owner will Install and Maintain all Landscaping/Irrigation Adjacent Along Eagle Mountain Blvd. and Raven Drive.

Landscape Data

Site Area = 35,583 s.f. (0.817 ac.)
Onsite Landscape Area Provided = 11,990 s.f. (34%)
Lawn Area = 0 s.f. (0%)
Xeriscaping = 11,990 s.f. (100%)
Offsite Landscape Area Provided = 2,769 s.f.
Lawn Area = 0 s.f. (0%)
Xeriscaping = 2,769 s.f. (100%)
Plant Coverage Required = 7,380 s.f. (50%)
Plant Coverage Provided = 7,394 s.f. (50%)
Drought Tolerant Plant Material = 427/427 (100%) *
Parking Lot Area = 14,544 s.f. @ 4" Depth
Parking Lot Snow Storage Required = 4,848 c.f.
Parking Lot Snow Storage Provided = 1,991 s.f. @ 4' High **
Eagle Mtn. Blvd. Frontage = 166 l.f.
Eagle Mtn. Blvd. Trees Required = 6 Trees (6 Provided)
Raven Drive Frontage = 190 l.f.
Raven Drive Trees Required = 7 Trees (7 Provided)

* All Plant Material has been Selected From the West Jordan Valley Water Conservancy District Low and Very Low Water Usage Plant List. Source for Plant List Approved by the City Biologist.

** The Site is Over Parked by 7 Stalls. The Extra Stalls and Some of the Bypass Lane Shall be Used to Store Snow.

Landscape Notes:

- See Sheet L3.1 for Planting Details.
- All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1 for Irrigation Layout. See Sheet L3.1 for Irrigation Details.
- Adjust Plant Material as Needed to Accommodate New and Existing Utilities.
- Prior to Installing Stone, Apply an Application of Pre-emergent Herbicide.
- See Landscape Notes for Details regarding Landscape Maintenance Period.
- Different Types of Stone Shall not be Separated by Edging but a Distinct Smooth Flowing Line.

Landscape Keynotes

- Install Shrub Planter with Weed Barrier, Decorative Stone, and Plant Material; See Material Sch. for Stone Type
- Install Landscape Boulder
- Drive-Thru and Parking Lot Planting Screen to Screen Headlights from Leaving the Site; Planting Screen Shall Consist of a 42" High Shrub Hedge
- Snow Storage Area; See Landscape Data Table
- Blend New Landscape into Adjacent Lot Landscape
- Dumpster Enclosure with Plant Screening
- New Elect. Transformer; Adjust Plant Material as Needed to Allow Access to Transformer
- Irrigation Backflow Preventer - See Irrigation Plan for More Detail; Adjust Plant Material for Exact Location; Center Backflow Between Plant Material and Away From Back of Curb to Avoid a Conflict with a Vehicle Bumper
- New Light Pole - See Site Elect. Plans; Adjust Plant Material as Needed and Evenly Space Plant Material Around Light Poles
- Water Meter for Building and Irrigation - See Utility Plan for More Detail
- Bike Rack - See Civil Plans
- Clear Vision Triangle - No Plant Material Over Three Feet in Height Above the Street Shall be Permitted; No Trees are Allowed Within the Clear Vision Triangle (30'x30')
- Curb Cut - See Civil Site Plan for More Detail; Verify that Top of Stone is One Inch Below the Top of Concrete to Allow Water to Freely Flow into the Shrub Planter

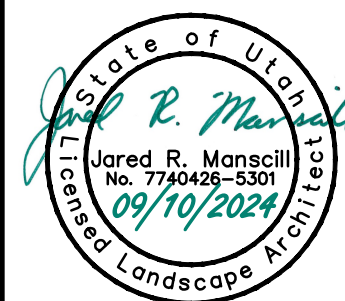


Know what's below.
Call before you dig.

Landscape Plan

Dutch Bros Eagle Mountain

1281 East Eagle Mountain Boulevard
Eagle Mountain, Utah



29 July, 2024

SHEET NO.

L1.1



59.044:0015

59.044:0191

67.182:0001

67.144:02

67.144:0201

67.122:0009

67.122:0007

67.209:0301

67.122:0002

67.122:0005

67.183:0001

227:0003

48.227:0002

48.227:0064

67.122:0004

48.227:0001

67.122:0003

65.519:0005

65.519:0004

48.359:0001

48.227:0027



E OSPREY WAY E OSPREY WAY

N RAVEN WAY

N RAVEN WAY

Eagle
Park

E TALON WAY

E STONE CREEK

W TRAILHEAD

E STAGECOACH RD

Eagle Mountain
City Offices

E EAGLE MOUNTAIN BLVD

N PONY EXPRESS PKWY

N RUSSELL

IN ST

N HERITAGE

General Plan Designation

LEGEND

Residential Categories:

- Foothill Residential
- Agricultural/Rural Density One
- Agricultural/Rural Density Two
- Neighborhood Residential One
- Neighborhood Residential Two
- Neighborhood Residential Three

Mixed Use/Commercial Categories:

- Community Commercial
- Town Center Mixed Use
- Regional Commercial
- Employment Center/Campus
- Business Park/Light Industry

Public/Civic Categories:

- Civic Uses/Schools
- Parks and Open Space

NEIGHBORHOOD CHARACTER AREA

TRANSPORTATION

- UDOT Highway/Freeway
- City Road Network - Collector & up



Zoning

