



EAGLE MOUNTAIN PLANNING COMMISSION MEETING

September 26, 2023, 5:30 PM

Eagle Mountain City Council Chambers

1650 East Stagecoach Run, Eagle Mountain, Utah 84005

5:30 P.M. - Eagle Mountain City Planning Commission Work Session -- Commission Ethics & Open Meeting Laws, Codes Training

6:30 P.M. - Eagle Mountain City Planning Commission Policy Session

1. Pledge of Allegiance

2. Declaration of Conflicts of Interest

3. Approval of Meeting Minutes

- 3.A August 22, 2023 Planning Commission Minutes
[08.22.23 PC DRAFT Minutes](#)

4. Status Report

5. Action and Advisory Items

- 5.A [ORDINANCE/PUBLIC HEARING -- Panter Rezone and Recorded Plat Amendment](#)

- 5.B [PRELIMINARY PLAT -- Firefly 5 Phase A](#)

Planning Commission review of a request for preliminary plat approval for Firefly NPA 5 Phase A, a 110-acre subdivision, within the Firefly Planned Community, proposing 71 single-family, agricultural type, building lots with 3.87 acres of open space.

[Firefly NPA 5 Preliminary 9-18-23](#)

[Redline Response Package Firefly Preliminary_NPA5_Phase A](#)

6. Discussion Items

7. Next scheduled meeting

8. Adjournment

THE PUBLIC IS INVITED TO PARTICIPATE IN PUBLIC MEETINGS FOR ALL AGENDAS.

In accordance with the Americans with Disabilities Act, Eagle Mountain City will make reasonable accommodation for participation in all Public Meetings and Work Sessions. Please call the City Recorder's Office at least 3 working days prior to the meeting at 801-789-6610. This meeting may be held telephonically to allow a member of the public body to participate. This agenda is subject to change with a minimum 24-hour notice.



EAGLE MOUNTAIN Planning Commission MEETING MINUTES

August 22, 2023, 6:30 p.m.
Eagle Mountain City Council Chambers
1650 East Stagecoach Run, Eagle Mountain, Utah 84005

COMMISSION MEMBERS PRESENT: Commissioners Jason Allen, Jeremy Bergener, Matthew Everett, Robert Fox, and Brent Strong, and Alternate Commissioner Jimmy Eaton.

CITY STAFF PRESENT: Steve Mumford, Deputy City Administrator/Community Development Director; Marcus Draper, City Attorney; and Steven Lehmitz, Planner.

CITY STAFF PRESENT ELECTRONICALLY: Elizabeth Fewkes, Recording Secretary; and Robert Hobbs, Planning Manager.

6:30 P.M. – Eagle Mountain City Planning Commission Policy Session

Commissioner Bergener called the policy session to order at 6:30 p.m.

1. Pledge of Allegiance

Commissioner Bergener led the Pledge of Allegiance.

2. Declaration of Conflicts of Interest

None.

3. Approval of Meeting Minutes

3.A. August 8, 2008 Planning Commission Minutes

MOTION: *Commissioner Allen moved to approve the August 8, 2023 minutes. Commissioner Fox seconded the motion.*

<i>Those Voting Yes</i>	<i>Those Voting No</i>	<i>Those Abstaining</i>	<i>Those Absent</i>
<i>Jason Allen</i>	☐ <i>Jason Allen</i>	☐ <i>Jason Allen</i>	☐ <i>Jason Allen</i>
<i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>
☐ <i>Matthew Everett</i>	☐ <i>Matthew Everett</i>	☐ <i>Matthew Everett</i>	<i>Matthew Everett</i>
<i>Robert Fox</i>	☐ <i>Robert Fox</i>	☐ <i>Robert Fox</i>	☐ <i>Robert Fox</i>
☐ <i>Brent Strong</i>	☐ <i>Brent Strong</i>	<i>Brent Strong</i>	☐ <i>Brent Strong</i>
☐ <i>Jimmy Eaton</i>	☐ <i>Jimmy Eaton</i>	<i>Jimmy Eaton</i>	☐ <i>Jimmy Eaton</i>

The motion passed with a unanimous vote 3:0 with two abstentions. As Commissioner Everett was absent, Commissioner Eaton voted.

4. Status Report

Deputy City Administrator/Community Development Director Steve Mumford reviewed the planning items discussed and voted upon during the August 15, 2023 City Council meeting.

5. Action and Advisory Items

5.A. ACTION ITEM – PUBLIC HEARING: SITE PLAN APPROVAL OF HARMONY MULTI-FAMILY AND PLAT AMENDMENT OF HARMONY PHASE A PLAT 5.

Mr. Mumford and Planning Manager Robert Hobbs provided background information and presented the item. The subject property is governed by the Harmony Development Agreement with the property identified and approved for multifamily units. Harmony is a master planned community encompassing 772 acres. The Harmony at City Center exhibit shows density locations and identifies the subject property as Multifamily Residential. There is no density specific to the multifamily areas and the development agreement states, "The multi-family areas are not vested with density, and any reference to the number of units on the Preliminary Plat is conceptual and informational only." Total Harmony multifamily acreage is 92.186 acres and 1,935 conceptual and not vested, units. The subject site plan contains 14.45 acres with 116 townhome units and 110 stacked units. While no specific density maximum is given, the density "will be determined at the time of site plan application." The proposed density of the Harmony multifamily is 15.6 units per acre. Open space acreage, specific to the Harmony development, is required at 273 square feet per unit, or 1.42 acres. The development requires 142 amenity points 142 and 632 points are proposed.

The packet materials include both a pitched roof and a flat roof option. Municipal Code currently prohibits flat roofs. Because the units front along Walden Parkway, the fencing generally required along major roadways is excluded. The vacation has been included in conjunction with the plat amendment application for efficiency.

Staff recommends that the Planning Commission forward a positive recommendation to the City regarding the Harmony Multifamily site plan and Harmony Phase A Plat 5 street vacation, subject to the following conditions of approval:

1. Fireline clarification in front of Buildings J and K.
2. Lighting shall meet EMMC standards.
3. Recommendation on the stacked unit garage door style.

Commissioner Fox stated that the clubhouse should have a food service area.

Applicant representative Bronson Tatton with Flagship Homes confirmed that the clubhouse will be unmanned and will service only the multifamily units. They are amenable to adding a food service area. The flat roof design would allow them to increase the height of each floor by six inches. The townhomes have detached garages and are designed with a main floor master suite and an expansion option.

Commissioner Everett arrived at City Hall at 6:56 p.m.

Mr. Hobbs explained that the road vacation will alter the road design from a curve to an angled turn connecting Daniel Street and Delta Street and provide for yard and sidewalk space.

Commissioner Bergener opened the public hearing at 6:57 p.m. As there were no comments, he closed the hearing.

MOTION: *Commissioner Fox moved to recommend approval to the City Council of the site plan and plat amendment for Harmony Phase A Plat with the following conditions:*

- 1. The clubhouse shall provide a food servicing area;*
- 2. The roofs shall be pitched; and*
- 3. There shall be carriage doors on the garages.*

Commissioner Allen seconded the motion.

AMENDED MOTION: *Commissioner Fox moved to recommend approval to the City Council of the site plan and plat amendment for Harmony Phase A Plat with the following conditions:*

- 1. The clubhouse shall provide a food servicing area;*
- 2. The roofs shall be pitched;*
- 3. There shall be carriage doors on the garages;*
- 4. The attachment for the Daniel Street and Delta Street vacation shall be included;*
- 5. Fireline clarification in front of Buildings J and K shall be provided; and*
- 6. The lighting shall meet Eagle Mountain Municipal Code standards.*

Commissioner Allen seconded the motion.

<i>Those Voting Yes</i>	<i>Those Voting No</i>	<i>Those Abstaining</i>	<i>Those Absent</i>
<i>Jason Allen</i>	☐ <i>Jason Allen</i>	☐ <i>Jason Allen</i>	☐ <i>Jason Allen</i>
<i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>
<i>Matthew Everett</i>	☐ <i>Matthew Everett</i>	☐ <i>Matthew Everett</i>	☐ <i>Matthew Everett</i>
<i>Robert Fox</i>	☐ <i>Robert Fox</i>	☐ <i>Robert Fox</i>	☐ <i>Robert Fox</i>
<i>Brent Strong</i>	☐ <i>Brent Strong</i>	☐ <i>Brent Strong</i>	☐ <i>Brent Strong</i>

The motion passed with a unanimous vote.

5.B. ACTION ITEM – PUBLIC HEARING: FIREFLY 8.1 1A – PRELIMINARY PLAT

Mr. Hobbs presented the preliminary plat approval for Firefly 8.1 1A, a 74.66-acre subdivision, within the Firefly Planned Community, proposing 169 single-family building lots and 240 multi-family lots (409 total) containing 48.09 acres in building lots, 11.77 acres of open space, and 14.80 acres of paved surface in the first phase of the Firefly master development. The development review committee (DRC) review revealed the need to make some minor revisions to the plat that were incorporated into the revised plat drawings. As per the adopted Firefly Community Plan,

pertaining to twin homes and townhomes, "there are no minimum lot area requirements. Appropriate size is determined by the ability to meet development setback requirements as determined in the community plan." Setback conformance will be checked during building permit review as building lots do not have building envelopes to review for conformity. DRC review revealed the need to make some minor revisions to the plat. Those were incorporated into the revised plat drawings and addressed by way of a narrative. The applicant has submitted an exhibit to improve their connectivity index and better match City zoning.

Staff suggests that the Planning Commission advance a favorable recommendation regarding the proposed preliminary plat contingent on applicant compliance with any conditions of approval deemed warranted, including the provision of code-acceptable streetlights at intersections at acceptable intervals and a 1.75 connectivity index assurance.

Applicant representative David Vitek with Candlelight Homes stated that they are working with staff to replace plants included in the comprehensive landscape plan that was not favorable to the climate of the City. LEI Engineering has prepared an exhibit, that was not included in the packet, demonstrating a connectivity calculation of 1.79 for the project which is in compliance. Candlelight Homes intends to build all the units in this plat. He explained which parts of the overall project will be built by other developers. They are compiling a streetlight and signage plan that will be submitted with the final plat. The townhomes have a mixture of front and alley-loaded units. The alley-loaded units will be placed in highly visible areas. He presented elevation examples of the products planned for the development.

Commissioner Everett informed the applicants that the EMMC 17.72.030(C) prohibits front-loaded townhome units that are garage-dominant. As such, he will not issue a favorable recommendation on any design that he feels is garage dominant when the project returns for future approvals including multifamily unit design.

Commissioner Everett opened the public hearing at 7:31 p.m. As there were no comments, he closed the hearing.

MOTION: *Commissioner Bergener moved to recommend approval to the City Council of the preliminary plat for Firefly 8.1 1A with the condition that a document illustrating acceptable streetlights at appropriate intervals in accordance with Municipal Code standards shall be included. Commissioner Strong seconded the motion.*

<i>Those Voting Yes</i>	<i>Those Voting No</i>	<i>Those Abstaining</i>	<i>Those Absent</i>
<i>Jason Allen</i>	☐ <i>Jason Allen</i>	☐ <i>Jason Allen</i>	☐ <i>Jason Allen</i>
<i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>
<i>Matthew Everett</i>	☐ <i>Matthew Everett</i>	☐ <i>Matthew Everett</i>	☐ <i>Matthew Everett</i>
<i>Robert Fox</i>	☐ <i>Robert Fox</i>	☐ <i>Robert Fox</i>	☐ <i>Robert Fox</i>
<i>Brent Strong</i>	☐ <i>Brent Strong</i>	☐ <i>Brent Strong</i>	☐ <i>Brent Strong</i>

The motion passed with a unanimous vote.

5.C. ACTION ITEM – PUBLIC HEARING: MARKETPLACE AT EAGLE MOUNTAIN TOWN CENTER DEVELOPMENT AGREEMENT AMENDMENT

Planner Steven Lehmitz presented the item. A Development Agreement was entered into on January 13, 2021, pertaining to the Marketplace development. Much of the east and south sides of the development have been constructed or are currently under review, including Macey's as the anchor commercial lot. In discussions with the developer about constructing the external walls on the north and west perimeters of the property, it was determined that amending the current agreement would be a possible solution to the timing and placement issues. A recent final plat submittal for a portion of the development also triggered some questions to be addressed in the proposed changes.

Proposed changes and items for review:

- Section 3: Road width changing from 53 feet to 60 feet. Engineering has expressed that they have no concerns with the increased right-of-way width.
- Section 3: Road Section D being constructed with the newly created Area D. The current agreement would require the developer to construct Road Section A from Eagle Mountain Boulevard to Raven Way prior to certificates of occupancy being issued for that area. A final plat within the current Area A is being reviewed by staff. Area D is being proposed to change the internal road layout and timing to fit with later development occurring on the site. It is staff's opinion, however, that as development occurs along Eagle Mountain Boulevard, it would be advantageous to have an internal road connection to the residential units north of the Marketplace development. This allows easier access to the site(s) without having to traverse Eagle Mountain Boulevard or Pony Express Parkway.
- Section 6: Changes the timing of constructing the new detention area from Area A to Area D. It will have to be determined if the retention area should be constructed in conjunction with the adjacent internal road or at a different time.
- Section 7: The entirety of the project is currently zoned Commercial Community.
- Section 7: Instead of requiring the external walls to be constructed all at one time along the north and west property lines, the proposal ties the timing of construction to each area, needing to be completed before certificates of occupancy are issued. Area B currently has Lots 201 and 202 under construction and certificates of occupancy will not be withheld, though Lots 203-205 will be until the wall is completed.
- Section 8: Language regarding a land swap between the City and the developer is removed as the developer does not intend to exercise that option.
- Section 9: Change to have landscaping along public roads constructed with each site development.
- Section 16: The current agreement expires ten years from January 13, 2021. The proposal does not change anything in this section, making it so that approval would restart the ten-year term. EMMC 16.10.080(C)(2) notes that the duration of a development agreement shall not extend longer than six years.
- Exhibit B: The exhibit was updated to reflect what has already been constructed and current plans for the site.

- Exhibit C: Changes to this exhibit include internal road layout, adjusting Areas A-C, and creating Area D.

Staff recommends the Planning Commission forward a positive recommendation to the City Council regarding the proposed changes to the Marketplace at Eagle Mountain Town Center Development Agreement with the following condition Internal Road Section A shall be completed with Area A as stated in the current agreement (the layout may change as shown in the proposed Exhibit C).

Mr. Draper confirmed that a ten-year term was retained in the agreement. The six-year term requirement has not been adhered to during his time with the City. The City has the option to approve a longer term than six years. In his perspective, it is favorable to have a term that aligns with the anticipated period the developer expects for construction to be completed.

Commissioner Everett explained that the six-year agreement term with two optional two-year extensions is a recent change to Municipal Code.

Discussion ensued regarding the reason for the limited terms for development agreements and the potential benefits, problems, and complications of the requirement.

Applicant representative Forrest Gaskill stated they have businesses interested in the pad sites located along Eagle Mountain Boulevard. Businesses are not currently interested in the sites towards the rear of the project, particularly companies that have recently built locations in Saratoga Springs, and he anticipates it will be six to eight years before they will be able to develop those pad sites. At this time, it is not financially viable to develop the front portion if they are also required to put in the detention area and the full road. They desire the flexibility to withhold installing the wall until it is determined if the uses on the back of the property will be commercial or residential to be able to install the wall in the appropriate location to divide and buffer between use types.

Commissioner Everett opened the public hearing at 7:54 p.m. As there were no comments, he closed the hearing.

Commissioner Allen stated that although he would prefer to have the road completed, he would be in favor of allowing the commercial development along Eagle Mountain Boulevard to move forward rather than delaying the development until the road can be installed in its entirety. He supports the six-year term requirement with the option of extensions rather than the ten-year term.

Commissioner Bergener said he has no objections to the ten-year term, especially in consideration of the impacts of the market and development in Saratoga Springs impacting interest in the project.

Commissioner Everett said he is comfortable with the proposed language for Area B. He agrees with Commissioner Allen that although it is desirable to have the road connect from Area A through Area D, he does not wish to require the road if it means delaying the development of Area A. Even though interest in Area C for commercial office uses is low at the moment, he advocated for retaining the use rather than allowing multifamily due to limited commercially zoned property

in the City. The goal of the six-year development agreement time frame with an allowance for two, two-year extensions is to ensure progress is occurring. As such, he is willing to reset the agreement term for this development to six years and allow the two extensions if necessary.

MOTION: *Commissioner Allen moved to recommend approval to the City Council of the amendment to the Eagle Mountain Town Center Development Agreement with the change to Section 16 Term of Agreement to six years from the date of approval. Commissioner Bergener seconded the motion.*

Commissioner Everett inquired if Commissioner Allen desired to address the timing of the improvement of the detention area and the construction of the road in the motion.

Commissioner Allen clarified that his intention is to recommend approval with the detention area improvement and road construction as proposed in the staff report.

<i>Those Voting Yes</i>	<i>Those Voting No</i>	<i>Those Abstaining</i>	<i>Those Absent</i>
<i>Jason Allen</i>	☐ <i>Jason Allen</i>	☐ <i>Jason Allen</i>	☐ <i>Jason Allen</i>
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<i>Brent Strong</i>	☐ <i>Brent Strong</i>	☐ <i>Brent Strong</i>	☐ <i>Brent Strong</i>

The motion passed with a unanimous vote.

6. Discussion Items

6.A. UPDATE – TRAILS GIS DATABASE

Mr. Mumford explained that interns were hired over the summer to compile GPS data for the City's off-street, unpaved trails to input into the geographic information system (GIS) database to update the Bike and Pedestrian Master Plan with an Off-Street Recreation Trails Plan focusing on biking, hiking, ATV, and equestrian uses and expanding into Bureau of Land Management (BLM) land near the Hidden Valley and Firefly developments.

6.B. UPDATE – ZONING MAP STATUS

Mr. Mumford explained the progress and challenges encountered while updating the City's zoning map and presented the progress and future features staff is working on adding to the zoning map. A beta version of the map will be provided to the Commission to test and provide feedback on to allow staff to resolve any issues prior to the zoning map being made available to the public.

Discussion clarified the purpose and uses of the zoning map, integration with the City's Future Land Use and Transportation Corridors Map in the General Plan, current zoning of properties in the City, and methods to amend and resolve conflicts between the City's desired zoning and resident or developer desired zoning for properties.

Staff is compiling data to determine the approved zoning in areas of the City. The adoption of land use regulations and the amendment of the zoning map will undergo review and recommendation by the Commission, public hearings, and approval of the City Council.

Mr. Mumford recognized the existence of disagreement on the zoning of certain properties and explained that the intention is to clarify existing zoning rather than changing the zoning of properties. Property owners are notified regarding any proposed changes to the zoning of their property.

7. Next Scheduled Meeting

The next Planning Commission meeting is scheduled for September 12, 2023.

8. Adjournment

MOTION: *Commissioner Allen moved to adjourn at 8:33 p.m. Commissioner Everett seconded the motion.*

<i>Those Voting Yes</i>	<i>Those Voting No</i>	<i>Those Abstaining</i>	<i>Those Absent</i>
<i>Jason Allen</i>	☐ <i>Jason Allen</i>	☐ <i>Jason Allen</i>	☐ <i>Jason Allen</i>
<i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>	☐ <i>Jeremy Bergener</i>
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<i>Brent Strong</i>	☐ <i>Brent Strong</i>	☐ <i>Brent Strong</i>	☐ <i>Brent Strong</i>

The motion passed with a unanimous vote.

The meeting was adjourned at 8:34 p.m.

Approved by the Planning Commission on September 26, 2023.

Steve Mumford, AICP
Deputy City Administrator/Community Development Director

	EAGLE MOUNTAIN CITY PLANNING COMMISSION MEETING SEPTEMBER 26, 2023
TITLE:	ORDINANCE/PUBLIC HEARING -- Panter Rezone and Recorded Plat Amendment
ITEM TYPE:	Rezone and Recorded Plat Amendment
APPLICANT:	Todd and Julie Panter

ACTION ITEM:

Yes

PUBLIC HEARING:

Yes

PREPARED BY:

Steven Lehmitz, Planning

BACKGROUND:

ITEMS FOR CONSIDERATION:

REQUIRED FINDINGS:

RECOMMENDATION:

ATTACHMENTS:

	EAGLE MOUNTAIN CITY PLANNING COMMISSION MEETING SEPTEMBER 26, 2023
TITLE:	PRELIMINARY PLAT -- Firefly 5 Phase A
ITEM TYPE:	Preliminary Plat
APPLICANT:	Oquirrh Wood Ranch LLC with David Vitek and Heather Upshaw representing

ACTION ITEM:

Yes

PUBLIC HEARING:

Yes

PREPARED BY:

Robert Hobbs, Planning

BACKGROUND:

Submittal of the Preliminary Plat made the subject of this report comes on the heels of the City's approval of an amended Master Development Plan and associated Master Development Agreement. The amendments recomposed the 2010 approved Pole Canyon development project into the Firefly planned community with a collection of design and other changes. The community is still divided into re-defined neighborhood planning areas and Firefly 5 A is but the second of many preliminary plats that will expectedly be submitted to the City for review and approval.

ITEMS FOR CONSIDERATION:

PRELIMINARY PLAT (EMMC § 16.20 & MDP/MDA)

The Project has been reviewed by the DRC Committee and any suggested "redline" corrections incorporated into plat drawings (currently in Bluebeam electronic files).

PROVIDED/PROPOSED PLAT CALCULATIONS:

General Metrics

Total Acreage -- 110.00

Land Use Zone(s) -- NPA per re-adopted MDP and MDA

Total Lot Count -- 71 (single-family)

Total Lots Allowed in NPA 5 -- 106

Total Lots Allowed Remaining -- 35

Total Acreage in Lots -- 101.02

Overall Prelim. Plat density -- .64 du/ac

Total Open Space Provided -- 3.87 acres

Asphalt Pavement Area Internal to Subd. -- 5.11 acres

Easements Req'd. as per Plat & City Engineering

Single-Family Detached Agricultural Type Lots

Min. Lot Size Req'd.: 21,780 sq. ft.

Min. Lot Width: 90'

Finding: All lots meet min. size & width requirements

Notes:

1. DRC review revealed the need to make some minor revisions to the plat. Those were incorporated into the revised plat drawings hereto attached and addressed by way of a narrative also hereto attached.

2. Setback conformance will be checked during building permit review as building lots do not have building envelopes to review for conformity.

3. Open Space & Amenities (EMMC §§ 16.35.105 & 17.25.050(l): Accord with approved Development Agreement; all open space parcels have been labeled and it is noted that landscape plans will be provided in conjunction with final plat submittal(s). Trailhead parking lot plan shown on the plat portrays code acceptable layout with gravel and wheel stops proposed at that particular location.

4. ROW: Compliant with City standards -- 50' rural locals as denoted in the approved Firefly Community Plan

5. Screening: n/a (no commercial/industrial against residential or collector/arterials R_sOW to screen against

6. Correspondence: Any correspondence from agencies or the citizenry is hereto attached. Agency comments may express opinions regarding the plat and site plan application set, or, be geared towards recommending Conditions of Approval for the entitlement and/or subdivision request should they be approved.

7. Street Segments/Intersections Connectivity Quotient: 2
(acceptable)

REQUIRED FINDINGS:

Plat approvals are based upon compliance with City code requirements and requirements of any applicable Development Agreement(s). Approval criteria [Conclusions of Law] for a Preliminary Plat Approval review request are included in EMMC § 16.20.

RECOMMENDATION:

Approve with conditions: Staff suggests that the Planning Commission advance a favorable recommendation regarding the proposed preliminary plat contingent on applicant compliance with any conditions of approval deemed warranted.

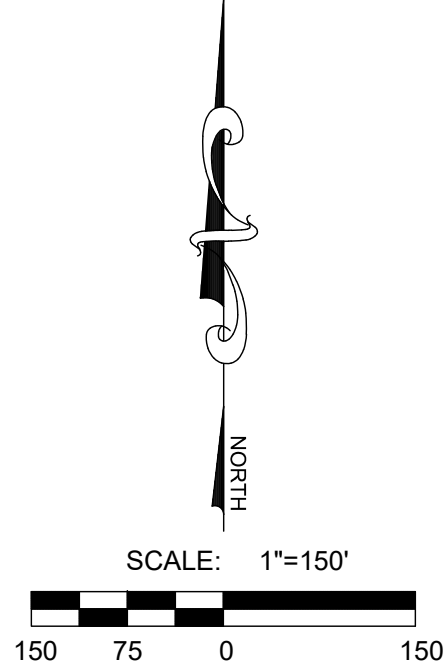
ATTACHMENTS:

[Firefly NPA 5 Preliminary 9-18-23](#)

[Redline Response Package Firefly Preliminary_NPA5_Phase A](#)

firefly

NPA 5
PRELIMINARY PHASE A
EAGLE MOUNTAIN CITY, UTAH



VICINITY MAP

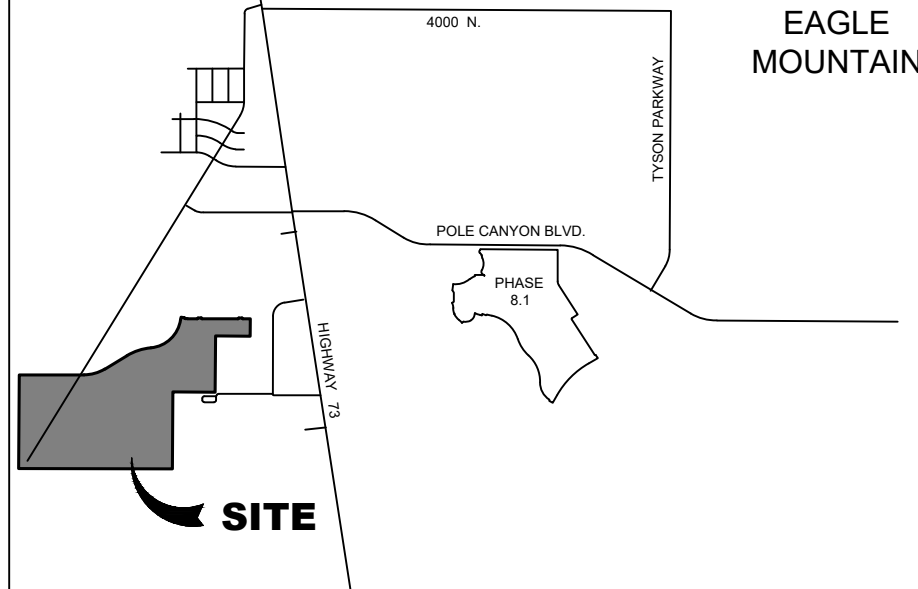


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SHEET 101	COVER	SHEET 501	PHASING PLAN/ LOT PLAN
SHEET 201	LOT LAYOUT 1	SHEET 601	DETAILS
SHEET 202	LOT LAYOUT 2	SHEET 701	EROSION CONTROL PLAN
SHEET 203	LOT LAYOUT 3	SHEET 702	EROSION CONTROL DETAILS
SHEET 301	UTILITY PLAN 1		
SHEET 302	UTILITY PLAN 2		
SHEET 303	UTILITY PLAN 3		
SHEET 401	GRADING PLAN		

TABULATIONS

TOTAL ACREAGE: 110.00 ACRES
ASPHALT PAVEMENT AREA: 5.11 ACRES
TOTAL OPEN SPACE: 3.87 ACRES

UNITS

SINGLE FAMILY: 71 LOTS
TOTAL # OF UNITS ALLOWED IN NPA 5: 106
TOTAL # OF UNITS IN THIS PHASE: 71 LOTS
TOTAL # OF UNITS REMAINING: 35
OVERALL DENSITY OF THIS PHASE: 0.64 UNITS/ACRE

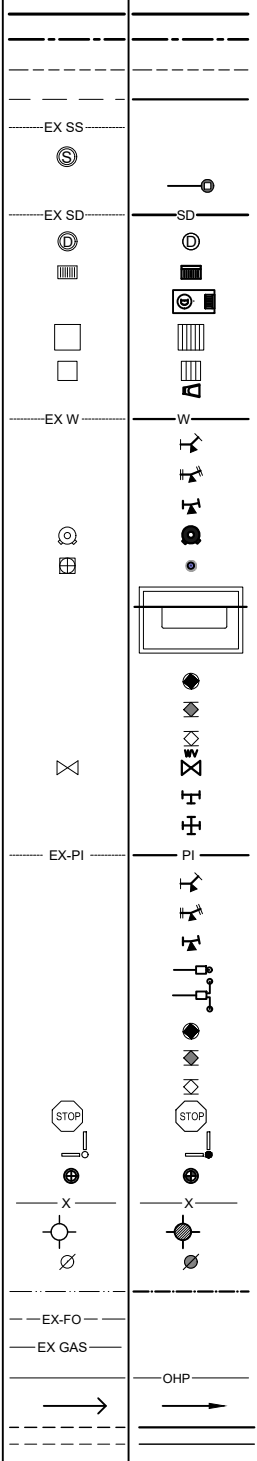
OF NODES: 5
OF LINKS: 10
CONNECTIVITY INDEX NUMBER: 2

NOTES

- ALL CONSTRUCTION TO CONFORM TO THE LATEST EDITION OF EAGLE MOUNTAIN CITY STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ALL INTERSECTIONS TO HAVE ADA HANDICAP RAMPS ACCORDING TO CITY STANDARDS.
- ALL EXISTING IRRIGATION DITCHES LOCATED WITHIN THE PROPERTY BOUNDARY ARE TO BE ABANDONED.
- ALL WATER TEES TO BE FLANGED WITH FLANGED VALVES.
- SECONDARY ACCESS AND TEMPORARY TURNAROUNDS TO BE PROVIDED ACCORDING TO CITY/FIRE CODE.
- DRIVEWAY SLOPES NOT TO EXCEED 12%.
- NO DEFLECTIONS ALLOWED ON WATER LINES.
- ALL FILL WITHIN ROADWAYS TO BE ENGINEERED FILL.
- STORM DRAIN PIPE SIZING TO BE PROVIDED AT FINAL DESIGN.
- SUBDIVISION MUST MEET DARK SKY STANDARDS (PER CODE 17.56).
- GARBAGE COLLECTION WILL BE DONE WITH INDIVIDUAL GARBAGE CANS.
- ALL APPLICABLE ELEMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBLE GUIDELINES WILL BE ADHERED TO.
- ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.

LEGEND

EXISTING PROPOSED



EAGLE MOUNTAIN CITY GENERAL NOTES

SEWER:

- PIPE BEDDING: 3/4" GRAVEL REQUIRED 6" BELOW, ON THE SIDES & 12" ABOVE THE PIPE (MINIMUM).
- DEPTH: SEWER MAIN/LATERALS TO MAINTAIN 4" OF COVER (MINIMUM) FROM FINISHED GRADE, 3' MINIMUM FROM TOP OF PIPE AT TIME OF INSTALLATION.
- SEPARATION: SEWER MAINS & LATERALS TO MAINTAIN 10' SEPARATION (MINIMUM) FROM CULINARY WATER MAINS & LATERALS.
- SEWER Y'S: 3' MINIMUM SEPARATION BETWEEN SEWER Y'S.
- LATERAL STUBS: A) STUBS MUST EXTEND 15' INTO PROPERTY AND BE MARKED WITH 2X4 PAINTED GREEN. B) ALL LATERALS MUST BE GIS (SHOT IN) AT THE Y'S AND STUBS. ALSO SLOPES (3% MIN. ON 4" PIPE) TO BE CHECKED BEFORE BACKFILL.
- MANHOLES: MANHOLES TO BE WITHIN 1' OF FINISHED GRADE. 12" OF WHIRLY GIG FORM (MAX) AND NO FLAT RINGS ALLOWED. 12" OF 3/4" GRAVEL REQUIRED UNDER MANHOLE/BOXES..

WATER:

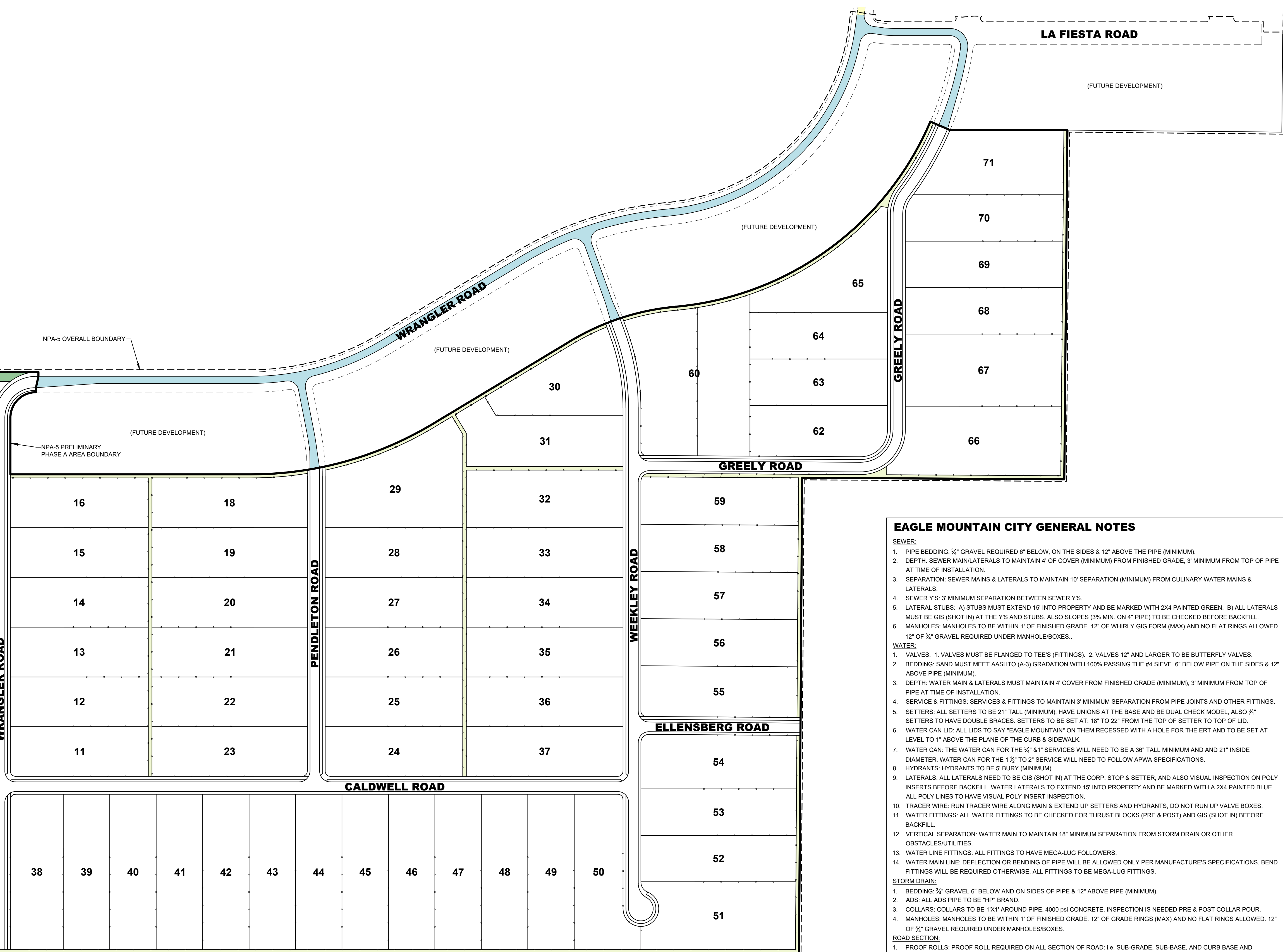
- VALVES: 1. VALVES MUST BE FLANGED TO TEE'S (FITTINGS). 2. VALVES 12" AND LARGER TO BE BUTTERFLY VALVES.
- BEDDING: SAND MUST MEET AASHTO (A-3) GRADATION WITH 100% PASSING THE #4 SIEVE. 6" BELOW PIPE ON THE SIDES & 12" ABOVE PIPE (MINIMUM).
- DEPTH: WATER MAIN & LATERALS MUST MAINTAIN 4' COVER FROM FINISHED GRADE (MINIMUM), 3' MINIMUM FROM TOP OF PIPE AT TIME OF INSTALLATION.
- SERVICE & FITTINGS: SERVICES & FITTINGS TO MAINTAIN 3' MINIMUM SEPARATION FROM PIPE JOINTS AND OTHER FITTINGS.
- SETTERS: ALL SETTERS TO BE 21" TALL (MINIMUM). HAVE UNIONS AT THE BASE AND BE DUAL CHECK MODEL. ALSO 3/4" SETTERS TO HAVE DOUBLE BRACES. SETTERS TO BE SET AT: 18" TO 22" FROM THE TOP OF SETTER TO TOP OF LID.
- WATER CAN LID: ALL LIDS TO SAY "EAGLE MOUNTAIN" ON THEM RECESSED WITH A HOLE FOR THE ERT AND TO BE SET AT LEVEL TO 1" ABOVE THE PLANE OF THE CURB & SIDEWALK.
- WATER CAN: THE WATER CAN FOR THE 3/4" & 1" SERVICES WILL NEED TO BE A 36" TALL MINIMUM AND 21" INSIDE DIAMETER. WATER CAN FOR THE 1 1/2" TO 2" SERVICE WILL NEED TO FOLLOW APWA SPECIFICATIONS.
- HYDRANTS: HYDRANTS TO BE 5' BURY (MINIMUM).
- LATERALS: ALL LATERALS NEED TO BE GIS (SHOT IN) AT THE CORP. STOP & SETTER, AND ALSO VISUAL INSPECTION ON POLY INSERTS BEFORE BACKFILL. WATER LATERALS TO EXTEND 15' INTO PROPERTY AND BE MARKED WITH A 2X4 PAINTED BLUE. ALL POLY LINES TO HAVE VISUAL POLY INSERT INSPECTION.
- TRACER WIRE: RUN TRACER WIRE ALONG MAIN & EXTEND UP SETTERS AND HYDRANTS. DO NOT RUN UP VALVE BOXES.
- WATER FITTINGS: ALL WATER FITTINGS TO BE CHECKED FOR THRUST BLOCKS (PRE & POST) AND GIS (SHOT IN) BEFORE BACKFILL.
- VERTICAL SEPARATION: WATER MAIN TO MAINTAIN 18" MINIMUM SEPARATION FROM STORM DRAIN OR OTHER OBSTACLES/UTILITIES.
- WATER LINE FITTINGS: ALL FITTINGS TO HAVE MEGA-LUG FOLLOWERS.
- WATER MAIN LINE: DEFLECTION OR BENDING OF PIPE WILL BE ALLOWED ONLY PER MANUFACTURE'S SPECIFICATIONS. BEND FITTINGS WILL BE REQUIRED OTHERWISE. ALL FITTINGS TO BE MEGA-LUG FITTINGS.

STORM DRAIN:

- BEDDING: 3/4" GRAVEL 6" BELOW AND ON SIDES OF PIPE & 12" ABOVE PIPE (MINIMUM).
- ADS: ALL ADS PIPE TO BE "HP" BRAND.
- COLLARS: COLLARS TO BE 1'X1' AROUND PIPE, 4000 psi CONCRETE. INSPECTION IS NEEDED PRE & POST COLLAR POUR.
- MANHOLES: MANHOLES TO BE WITHIN 1' OF FINISHED GRADE. 12" OF GRADE RINGS (MAX) AND NO FLAT RINGS ALLOWED. 12" OF 3/4" GRAVEL REQUIRED UNDER MANHOLES/BOXES.

ROAD SECTION:

- PROOF ROLLS: PROOF ROLL REQUIRED ON ALL SECTION OF ROAD: I.e. SUB-GRADE, SUB-BASE, AND CURB BASE AND CALDWELL ROADASE. CURB STAKES REQUIRED FOR SUB-GRADE INSPECTION AND STRING LINE REQUIRED FOR SUB-BASE AND CALDWELL ROADASE INSPECTION.
- UTRC: STATE SPEC. CALDWELL ROADASE REQUIRED FOR ALL ROAD, COMMERCIAL BASE ACCEPTABLE FOR THE SIDEWALKS & TRAILS.
- COLLARS: ALL COLLARS TO BE 1' WIDE BY 1' DEEP WITH A 6000 psi CONCRETE WITH 1.5# FIBER MESH PER CUBIC YARD (3/4" MONOFILAMENT) REQUIRED FOR ALL STREET COLLARS. MANHOLE COVERS AND WATER VALVE TOWERS TO BE 3/4" DOWN FROM ASPHALT EDGE AND CONCRETE TO BE 3/4" TO 3/8" DOWN FROM ASPHALT EDGE.



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**ENGINEERS
SURVEYORS
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NOT FOR
CONSTRUCTION

NPA 5, PRELIMINARY PHASE A
EAGLE MOUNTAIN, UTAH

COVER

firefly

REVISIONS
1 -
2 -
3 -
4 -
5 -

LEI PROJECT #:
2021-0080

DRAWN BY:
TJP

DESIGNED BY:
GDM / BCT

SCALE:
1"=150'

DATE:
9/18/2023

SHEET

101

DEVELOPER / OWNER

OQUIRRH WOOD RANCH LLC.

ENGINEER

LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801)798-0555

PROJECT NAME

FIREFLY NPA 5 PRELIMINARY
PHASE A

NOT FOR
CONSTRUCTION

firefly
NPA 5, PRELIMINARY PHASE A
EAGLE MOUNTAIN, UTAH
LOT LAYOUT 1

REVISIONS	
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LEI PROJECT #:
2021-0080
DRAWN BY:
TJP
DESIGNED BY:
GDM / BCT
SCALE:
1"=80'
DATE:
9/18/2023

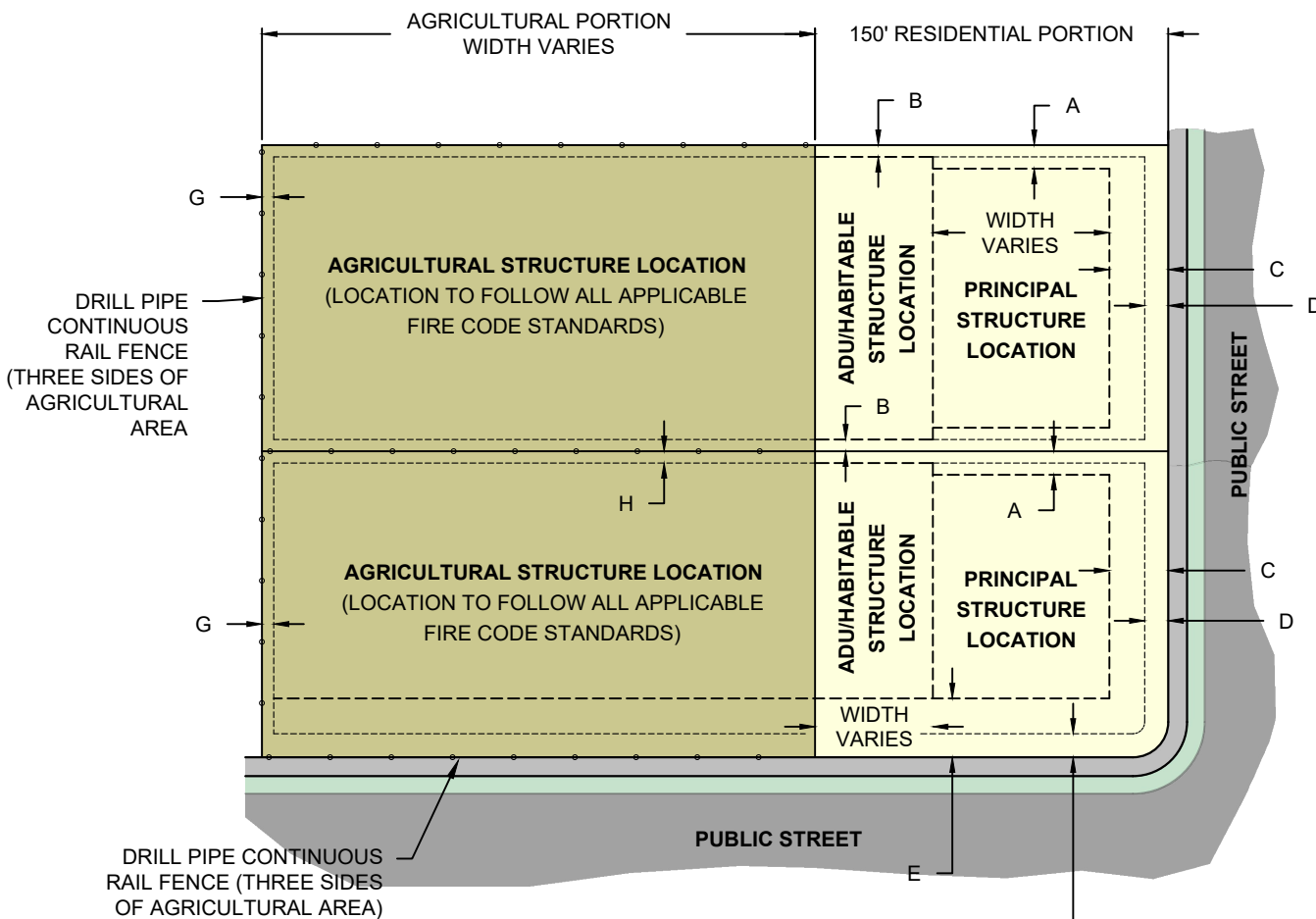
SHEET
201

NOTES

- 50' MINIMUM SETBACK FROM LIVESTOCK TO ANY NEIGHBORING RESIDENTIAL BUILDING PAD. LOTS 16, 18, 29, 30, 65, & 71 SHALL HAVE A MINIMUM 30' SIDE SETBACK ALONG THE NORTH SIDE ADJACENT TO THE FUTURE DEVELOPMENT.
- CORRALS OR BUILDINGS HOUSING ANIMALS SHALL NOT BE ALLOWED WITHIN THE REAR 40' OF LOT 62.
- ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.

SETBACK TABLE

A	10' PRINCIPAL STRUCTURE SIDE SETBACK TO LIVING SPACE, 30' SIDE SETBACK TO GARAGE DOOR
B	5' SIDE SETBACK FOR ADU/HABITABLE STRUCTURES AND AGRICULTURAL BUILDINGS
C	25' FRONT SETBACK TO PRINCIPAL STRUCTURE & DRAINAGE EASEMENT
D	10' FRONT P.U.E. & DRAINAGE EASEMENT (TYP.)
E	25' SIDE STREET SETBACK & DRAINAGE EASEMENT
F	10' SIDE CORNER P.U.E. & DRAINAGE EASEMENT (TYP.)
G	5' REAR P.U.E., DRAINAGE EASEMENT, & AGRICULTURAL BUILDING SETBACK (TYP.)
H	5' SIDE P.U.E., DRAINAGE EASEMENT, & AGRICULTURAL BUILDING SETBACK (TYP.)



AGRICULTURAL LOT BUILDING SETBACK & EASEMENT DETAIL

SINGLE-FAMILY DETACHED*								
Type of Lot	Front	Garage	Rear	Side	Corner	Minimum Lot Width ¹	Minimum Lot Size	Maximum Building Height ²
Agriculture	25'	25'	35'	10'/30'	25'	90'	21,780 sf	35'
Standard A	25'	25'	25'	10'/10'	15'	85'	10,890 sf	35'
Standard B	15'	22'	20'	8'/10'	15'	80'	8,000 sf	35'
Standard C	15'	22'	20'	5'/8'	15'	48'	4,500 sf	35'
Alley Load	10'	22'	5'	5'/5' ¹	15'	40'	4,200 sf	35'
Cottage	15'	22'	10'	5'/5' ¹	15'	40'	3,600 sf	35'

ACCESSORY BUILDINGS			
Type of Building	Rear	Side	Maximum Building Height ¹
Barns	5'	5'	35'
ADU	5'	5'	35'

* Upon a request by the applicant, these standards may be adjusted by the Planning Commission (or the applicable approving body of the City) upon Site Plan or Subdivision Application.

OPEN SPACE TABLE

PARK NAME	Area	NOTES
PARCEL A	138840.47 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL B	16673.42 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL C	23447.92 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL D	28536.99 SQFT.	OWNED & MAINTAINED BY H.O.A.
PARCEL E	11224.15 SQFT.	OWNED & MAINTAINED BY H.O.A.

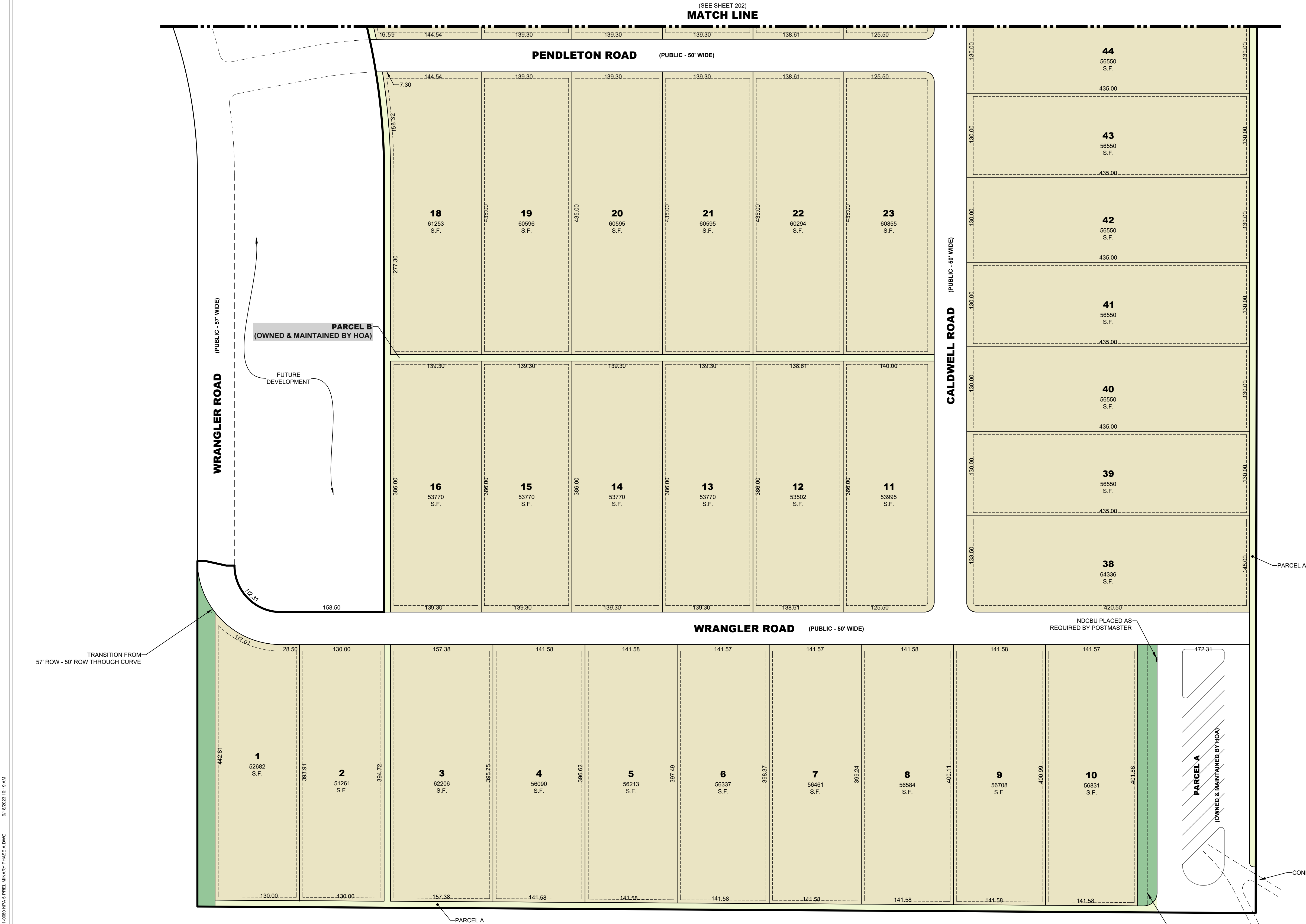
NOTE:

- ALL LOTS SHALL HAVE A DRAINAGE EASEMENT WITHIN THE FRONT 25' SETBACK. EXACT LOCATION AND SIZE SHALL BE DETERMINED AT THE TIME OF FINAL LOT GRADING AND DESIGN.

SETBACK TABLE

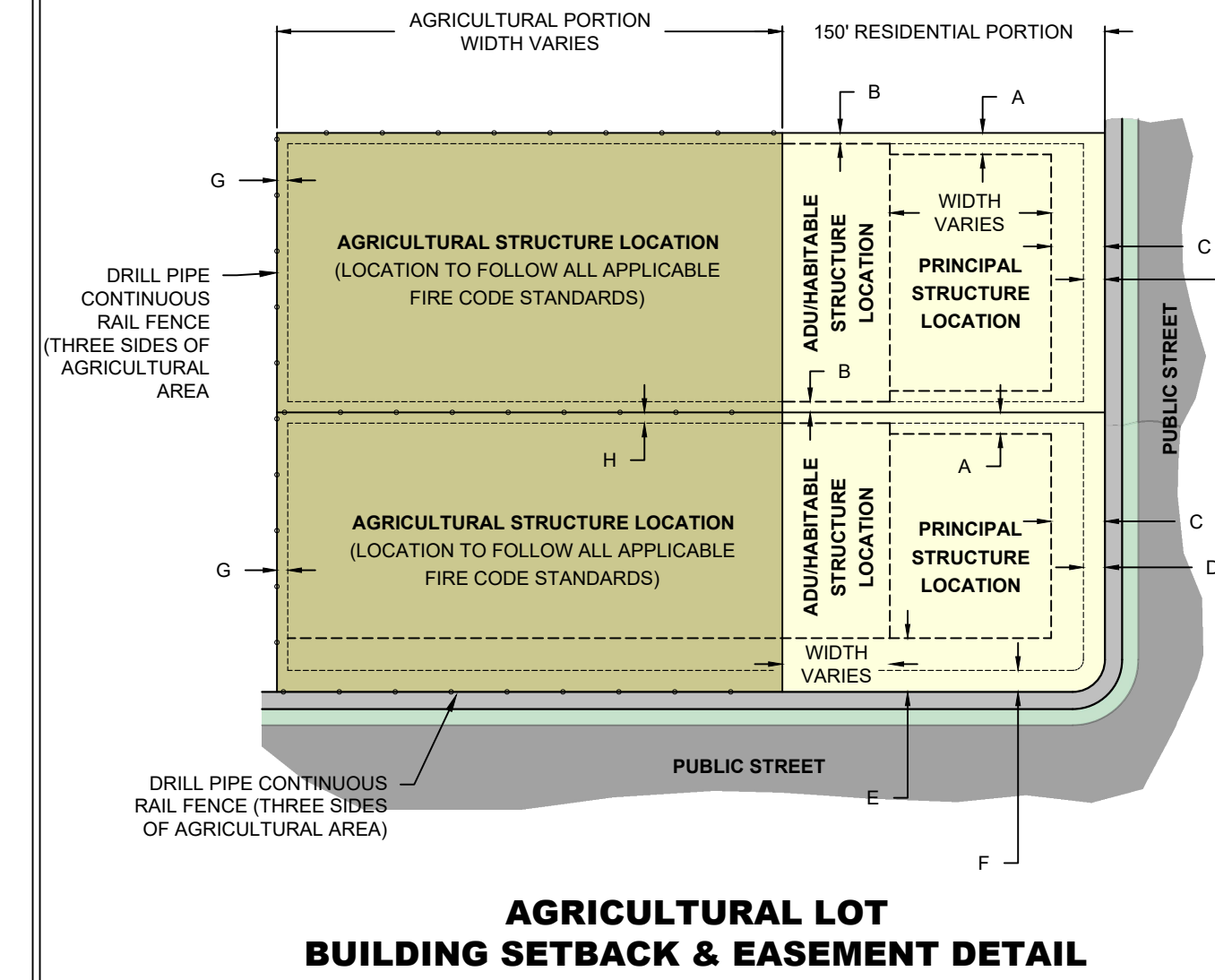
SINGLE FAMILY DETACHED LOTS	FRONT	GARAGE	REAR	SIDE	CORNER
AGRICULTURAL LOT	25'	25'	35'	10'/30'	25'

* STRUCTURES OR CORRAL'S HOUSING ANIMALS SHALL BE 50' FROM THE NEIGHBORING RESIDENCES.
* SHOPS, DETACHED GARAGES, ADU'S OR OTHER ACCESSORY BUILDINGS WITHOUT LIVESTOCK SHALL HAVE 5' SETBACKS



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AGRICULTURAL LOT
BUILDING SETBACK & EASEMENT DETAIL

- NOTES**
- 50' MINIMUM SETBACK FROM LIVESTOCK TO ANY NEIGHBORING RESIDENTIAL BUILDING PAD
 - LOTS 16, 18, 29, 30, 65, & 71 SHALL HAVE A MINIMUM 30' SIDE SETBACK ALONG THE NORTH SIDE ADJACENT TO THE FUTURE DEVELOPMENT.
 - CORRALS OR BUILDINGS HOUSING ANIMALS SHALL NOT BE ALLOWED WITHIN THE REAR 40' OF LOT 82
 - ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.

SETBACK TABLE	
A	10' PRINCIPAL STRUCTURE SIDE SETBACK TO LIVING SPACE, 30' SIDE SETBACK TO GARAGE DOOR
B	5' SIDE SETBACK FOR ADU/HABITABLE STRUCTURES AND AGRICULTURAL BUILDINGS
C	25' FRONT SETBACK TO PRINCIPAL STRUCTURE & DRAINAGE EASEMENT
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Type of Lot	Front	Garage	Rear	Side	Corner	Minimum Lot Width	Minimum Lot Size	Maximum Building Height ²
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Standard B	15'	22'	20'	8'/10'	15'	80'	8,000 sf	35'
Standard C	15'	22'	20'	5'/8'	15'	48'	4,500 sf	35'
Alley Load	10'	22'	5'	5'/5' ¹	15'	40'	4,200 sf	35'
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ACCESSORY BUILDINGS			
Type of Building	Rear	Side	Maximum Building Height ¹
Barns	5'	5'	35'
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NOTE:

- ALL LOTS SHALL HAVE A DRAINAGE EASEMENT WITHIN THE FRONT 25' SETBACK. EXACT LOCATION AND SIZE SHALL BE DETERMINED AT THE TIME OF FINAL LOT GRADING AND DESIGN.

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NOT FOR
CONSTRUCTION

firefly NPA 5, PRELIMINARY PHASE A
EAGLE MOUNTAIN, UTAH
LOT LAYOUT 2

REVISIONS	
1	-
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LEI PROJECT #:
2021-0080
DRAWN BY:
TJP
DESIGNED BY:
GDM / BCT
SCALE:
1"=80'
DATE:
9/18/2023

SHEET
202

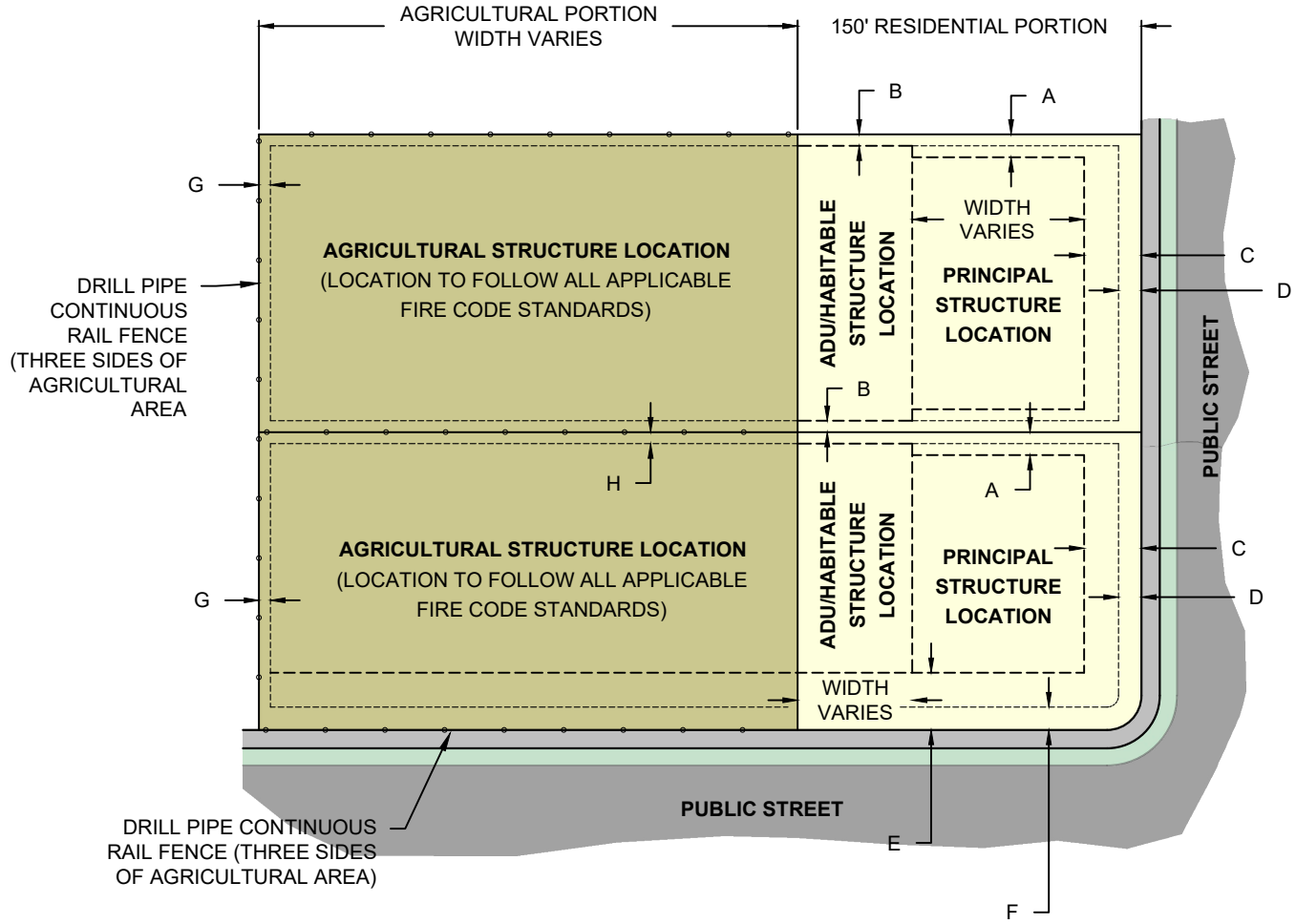
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AGRICULTURAL LOT
BUILDING SETBACK & EASEMENT DETAIL

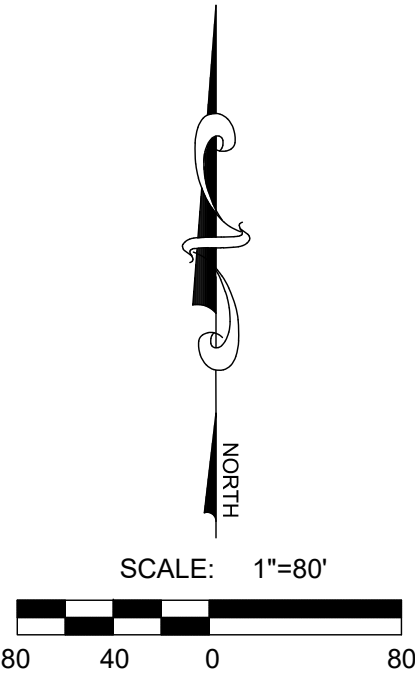
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NOTE:

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LEI

A Utah Corporation

ENGINEERS

SURVEYORS

PLANNERS

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office@lei-eng.com
www.lei-eng.com

NOT FOR
CONSTRUCTION

firefly NPA 5, PRELIMINARY PHASE A
EAGLE MOUNTAIN, UTAH
LOT LAYOUT 3

REVISIONS	
1	-
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LEI PROJECT #:
2021-0080
DRAWN BY:
TJP
DESIGNED BY:
GDM / BCT
SCALE:
1"=80'
DATE:
9/18/2023

SHEET
203



PLANNERS

NOT FOR CONSTRUCTION

EAG
freight

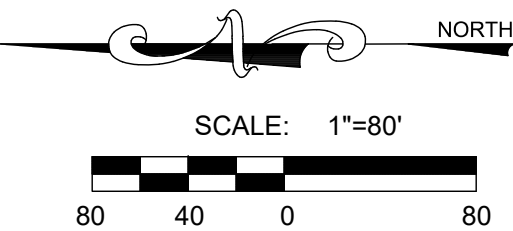
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301



1. ALL LOTS SHALL BE SERVICED WITH SEPTIC TANKS AND SHALL FOLLOW ALL REQUIREMENTS FROM THE UTAH COUNTY HEALTH DEPARTMENT.
2. ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.

U:\0_LEI PROJECTS\2021\2021-0080 POLE CANYON SUBDIVISION\NPA 5\PRELIMINARY\21-0080 NPA 5 PRELIMINARY PHASE A.DWG



SURVEYORS

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NOT FOR
CONSTRUCTION

**NPA 5, PRELIMINARY PHASE A
LE MOUNTAIN, UTAH
UTILITY PLAN 2**

firefly

UTILITY PLAN 2

LEI PROJECT #:
2021-0080

DRAWN BY:
TJP

DESIGNED BY:
GDM / BCT

SCALE:
1"=80'

DATE:
9/18/2023

SHEET

302

1. NO PARKING FIRE LANE SIGNS SHALL BE REQUIRED ON ONE SIDE OF THE ROAD SPACED AT 100'-150' INTERVALS. SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND AS SHOWN BELOW. SIGNS SHALL FOLLOW ALL OTHER MUTCD REQUIREMENTS.



1. ALL LOTS SHALL BE SERVICED WITH SEPTIC TANKS AND SHALL FOLLOW ALL REQUIREMENTS FROM THE UTAH COUNTY HEALTH DEPARTMENT.
2. ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S P41051 AND P55444.

9/18/2023 10:18 AM

LEI PROJECTS 2021\2021-0080 POLE CANYON SUB/CAD/DWG\NPA 5\PRELIMINARY\21-0080 NPA 5 PRELIMINARY PHASE A.DWG



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ENGINEERS

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NOT FOR
CONSTRUCTION

firefly NPA 5, PRELIMINARY PHASE A
EAGLE MOUNTAIN, UTAH

GRADING PLAN



SCALE: 1"=150'



SEE ROADWAY PLANS FOR WRANGLER ROAD-
CONNECTION TO POLE CANYON BOULEVARD.
20' RIBBON ROAD TO BE WITHIN A TEMPORARY
EASEMENT. FINAL
WRANGLER ROAD DEDICATION TO BE DONE AT
A LATER TIME.

HATCH INDICATES 20'
RIBBON ROAD. SEE
DETAIL 1/601

LA FIESTA ROAD

FUTURE
DEVELOPMENT

FUTURE
DEVELOPMENT

FUTURE
DEVELOPMENT

FUTURE
DEVELOPMENT

WRANGLER ROAD

GREELY ROAD

GREELY ROAD

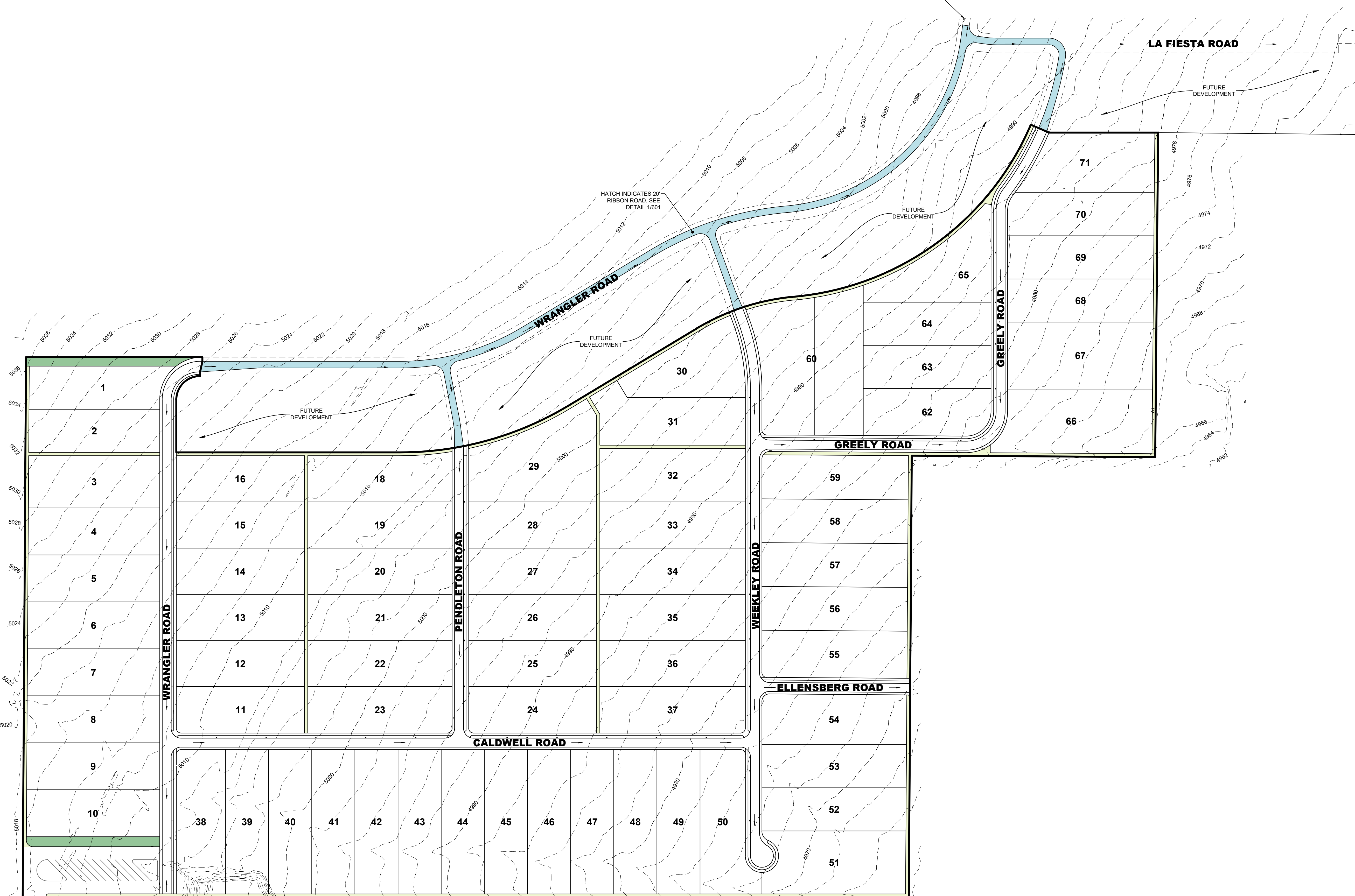
ELLENSBERG ROAD

CALDWELL ROAD

PENDLETON ROAD

WEEKLEY ROAD

WRANGLER ROAD



NOTE:

- ALL LOTS SHALL BE REQUIRED TO RETAIN THEIR OWN STORM WATER, AS WELL AS THE STORM WATER FROM THE ADJACENT HALF-ROADWAY, WITHIN THEIR OWN LOT. FINAL LOCATION AND SIZE OF RETENTION AREAS SHALL BE DETERMINED AT THE TIME OF FINAL GRADING DESIGN.
- ANY DISTURBED AREAS THAT WILL BE DEVELOPED MORE THAN 2 YEARS IN THE FUTURE SHALL BE STABILIZED WITH EAGLE MOUNTAIN CITY'S RANGELAND SEE MIX.

REVISIONS

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LEI PROJECT #:

2021-0080

DRAWN BY:

TJP

DESIGNED BY:

GDM / BCT

SCALE:

1"=150'

DATE:

9/18/2023

SHEET

401



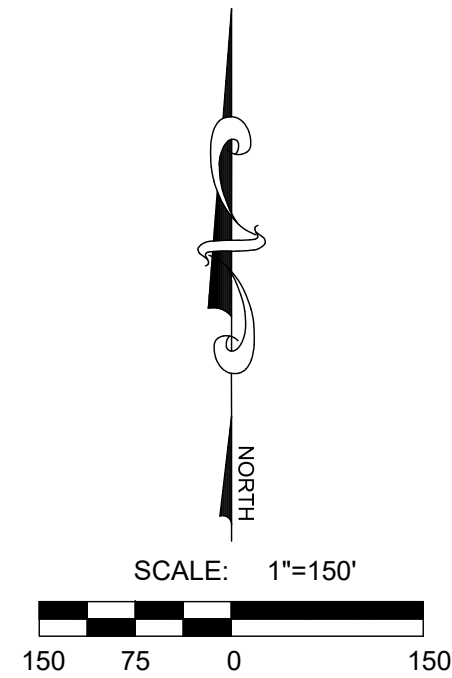
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NOT FOR
CONSTRUCTION

firefly **NPA 5, PRELIMINARY PHASE A**
EAGLE MOUNTAIN, UTAH

PHASING PLAN

REVISIONS

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LEI PROJECT #:
2021-0080

DRAWN BY:
TJP

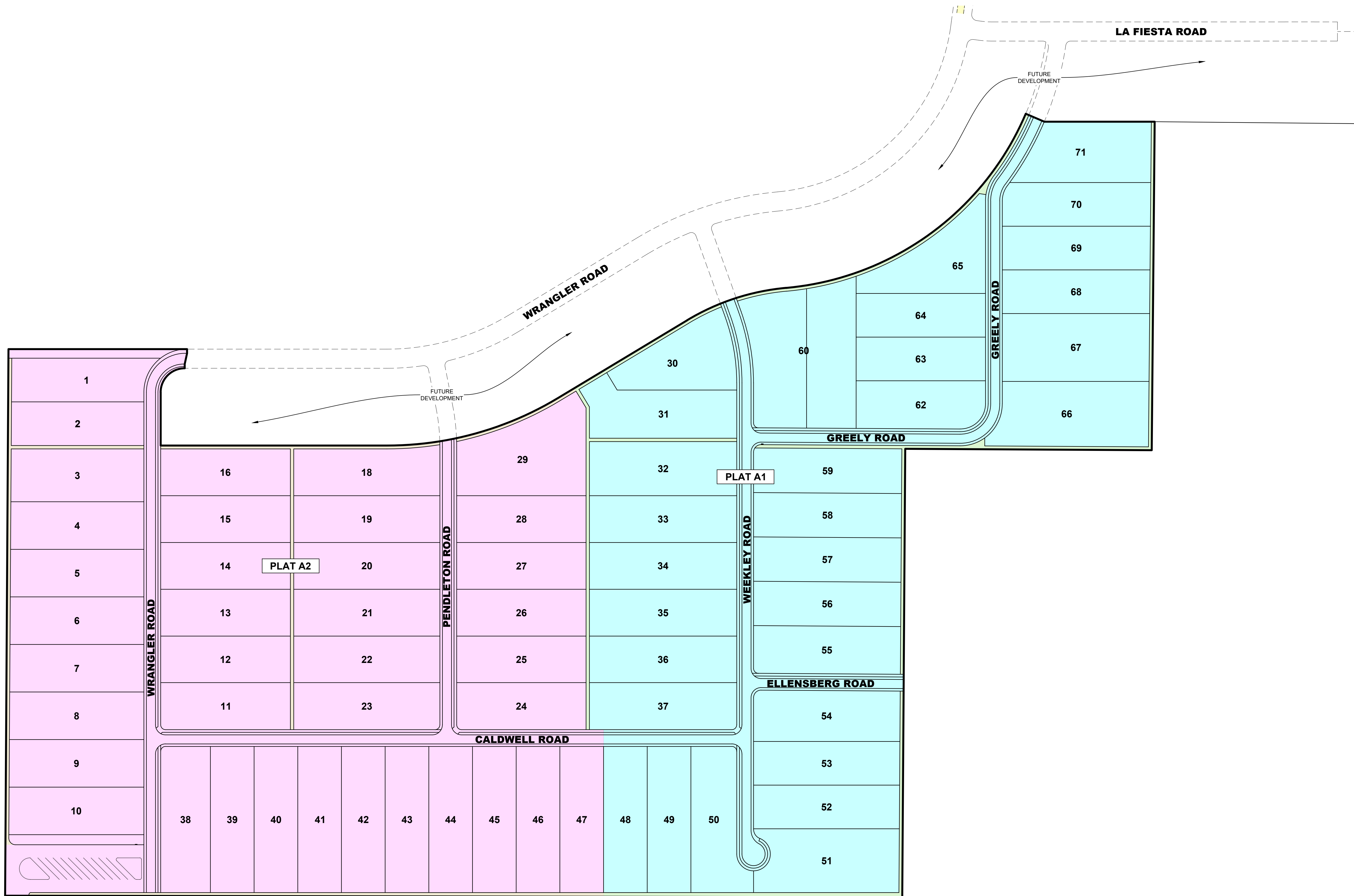
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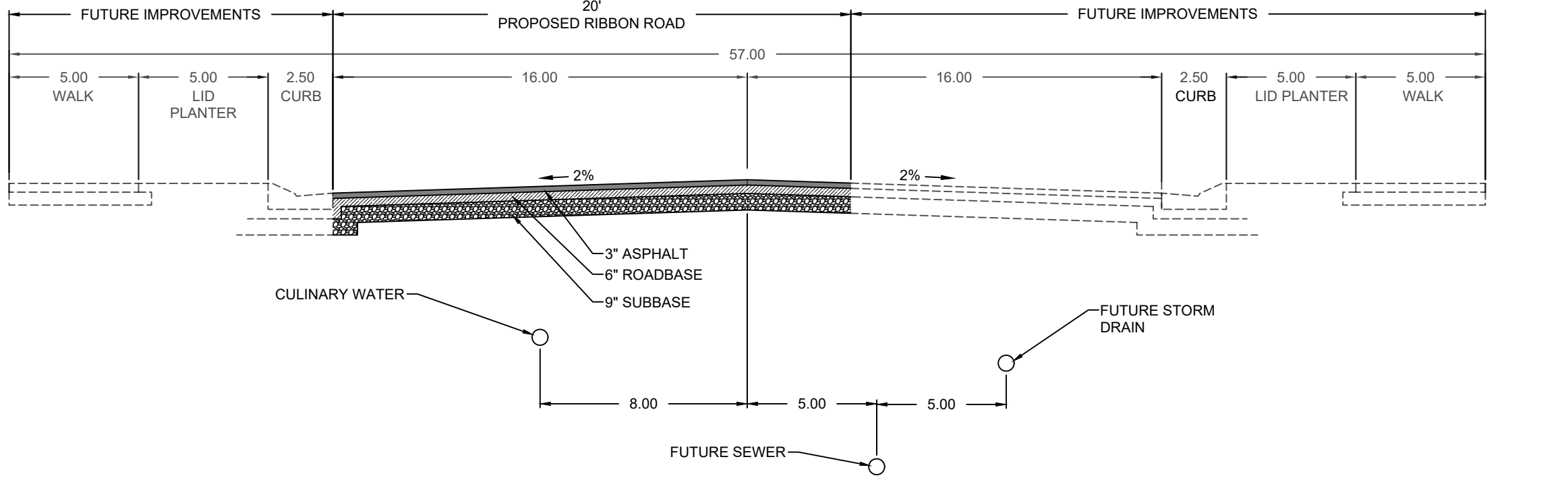
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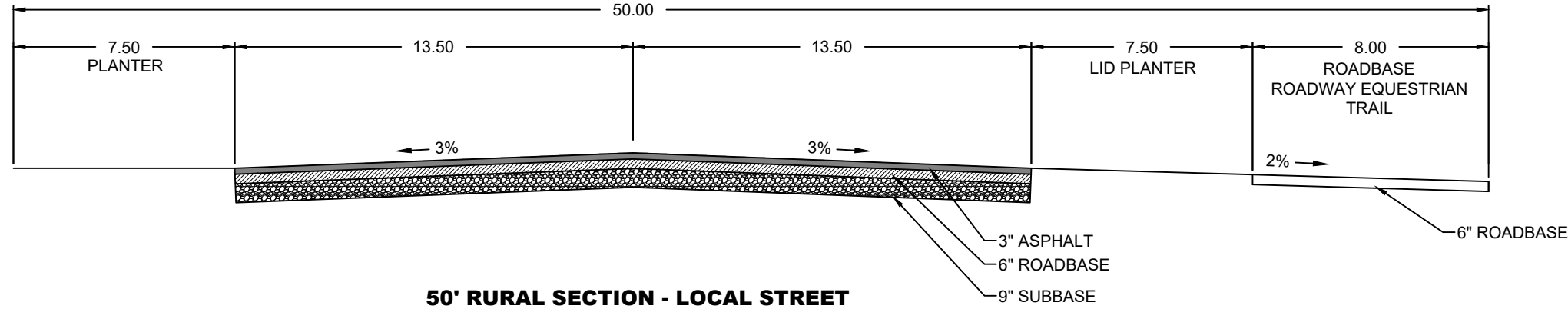
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501





20' RIBBON ROAD
FUTURE 57' CROSS-SECTION - LOCAL STREET



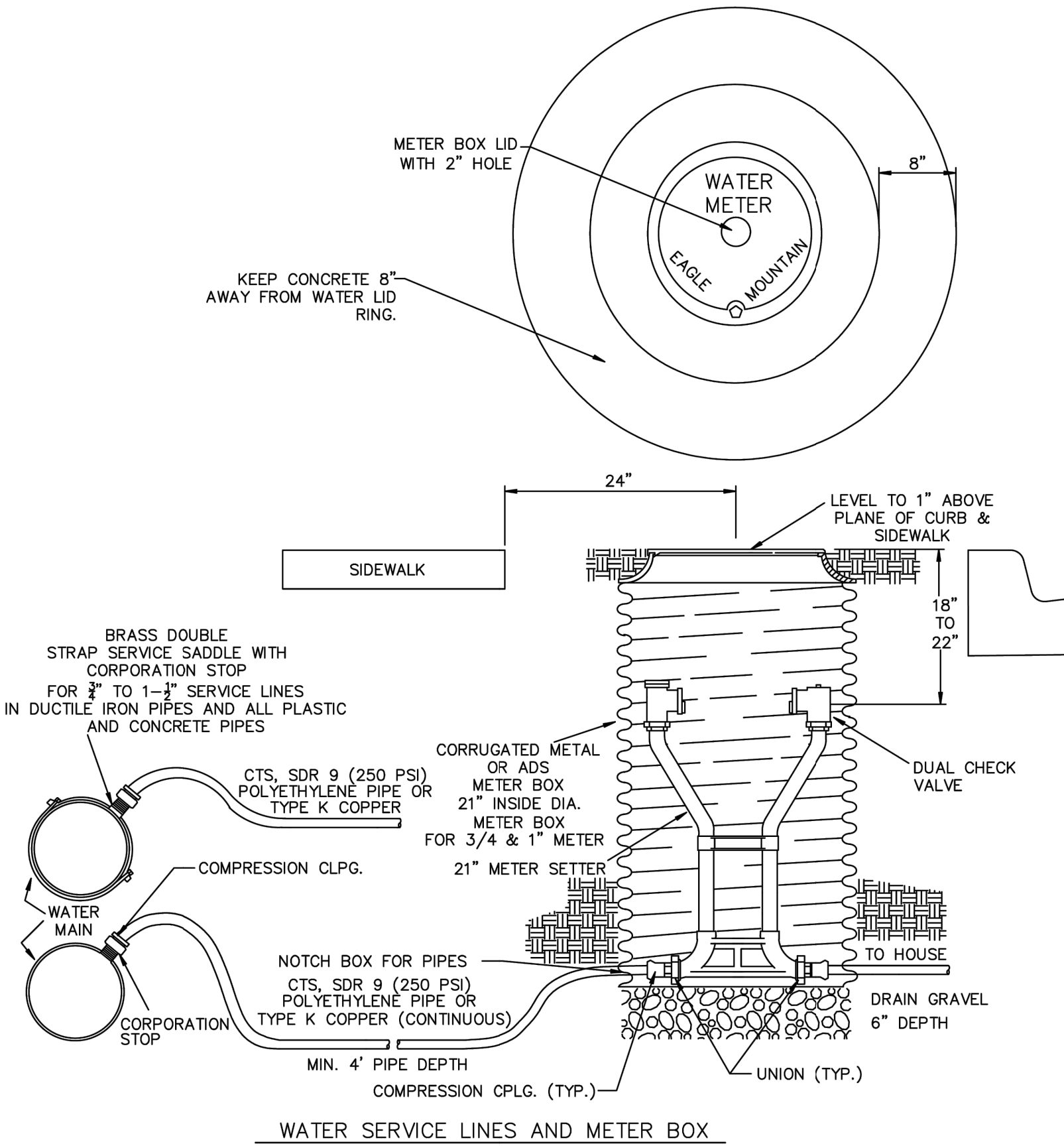
50' RURAL SECTION - LOCAL STREET

NOTE:

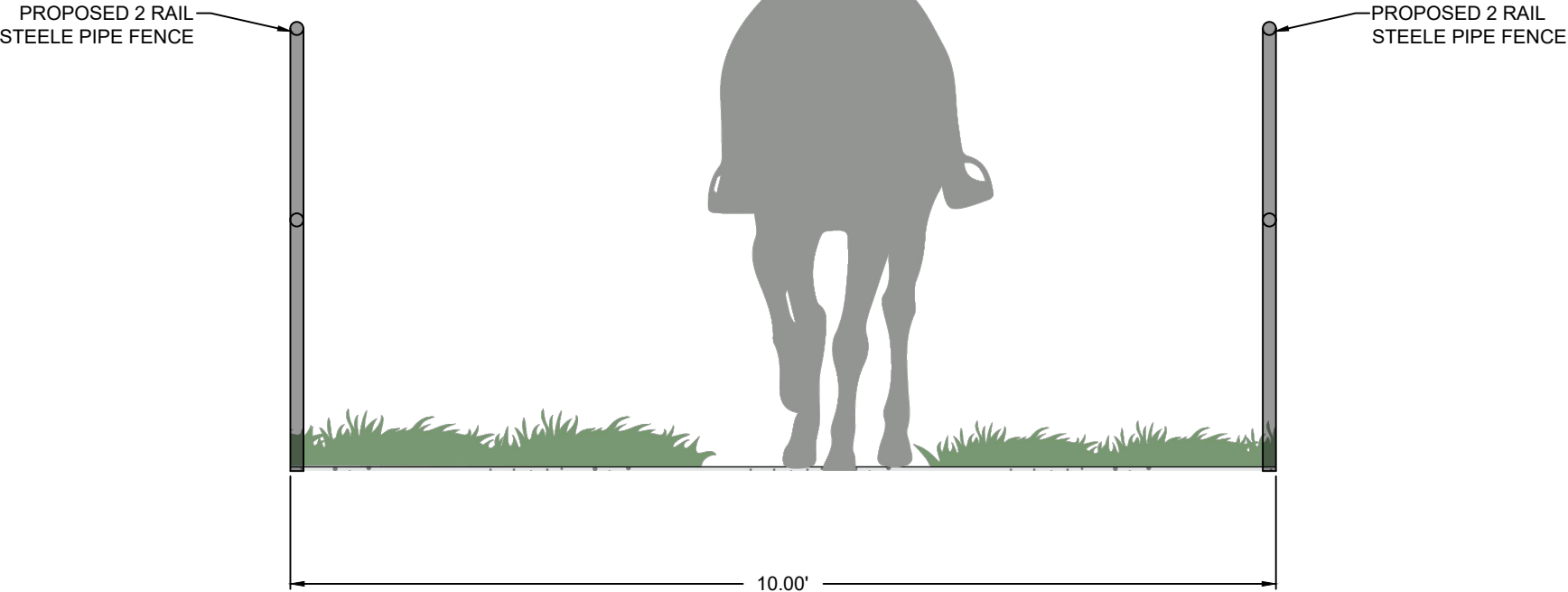
1. ALL PAVING SECTIONS TO BE VERIFIED WITH CBR ANALYSIS FROM THE GEOTECHNICAL STUDY
2. ANY PIPES THAT CROSS UNDER DRIVEWAYS OR ROADWAYS TO CONVEY DRAINAGE THROUGH THE PLANTERS SHALL BE A MINIMUM OF 15\"/>

1 ROADWAY CROSS SECTIONS

2 NOT USED



NOTE: 1.5\"/>



NOTE:
1. ANY RE-VEGETATION OF TRAILS SHALL USE THE
EAGLE MOUNTAIN CITY RANGELAND SEED MIX.

DESIGNED BY: RSB	EAGLE MOUNTAIN CITY	STANDARD DETAILS FOR WATER LINE, SETTER & CAN	DRAWING NO. WSC-1
REVIEWED BY: AUG 2017			
DATE: NOV 2015			
SCALE: N.T.S.			

3 WATER SERVICE DETAIL

4 EQUESTRIAN TRAIL SECTION



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ENGINEERS

SURVEYORS

PLANNERS

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Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

NOT FOR
CONSTRUCTION

firefly NPA 5, PRELIMINARY PHASE A
EAGLE MOUNTAIN, UTAH

DETAILS

REVISIONS
1 -
2 -
3 -
4 -
5 -
6 -

LEI PROJECT #: 2021-0080
DRAWN BY: TJP
DESIGNED BY: GDM / BCT
SCALE: N.T.S.
DATE: 9/18/2023

SHEET

601



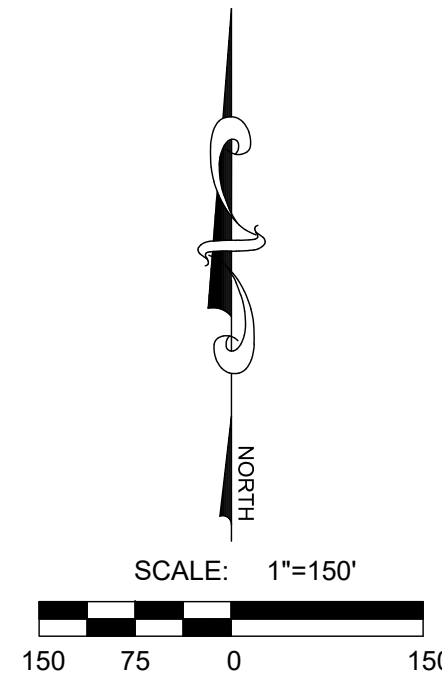
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NOT FOR
CONSTRUCTION

firefly
NPA 5, PRELIMINARY PHASE A
EAGLE MOUNTAIN, UTAH

EROSION CONTROL

REVISIONS

1	-
2	-
3	-
4	-
5	-
6	-

LEI PROJECT #:

2021-0080

DRAWN BY:

TJP

DESIGNED BY:

GDM / BCT

SCALE:

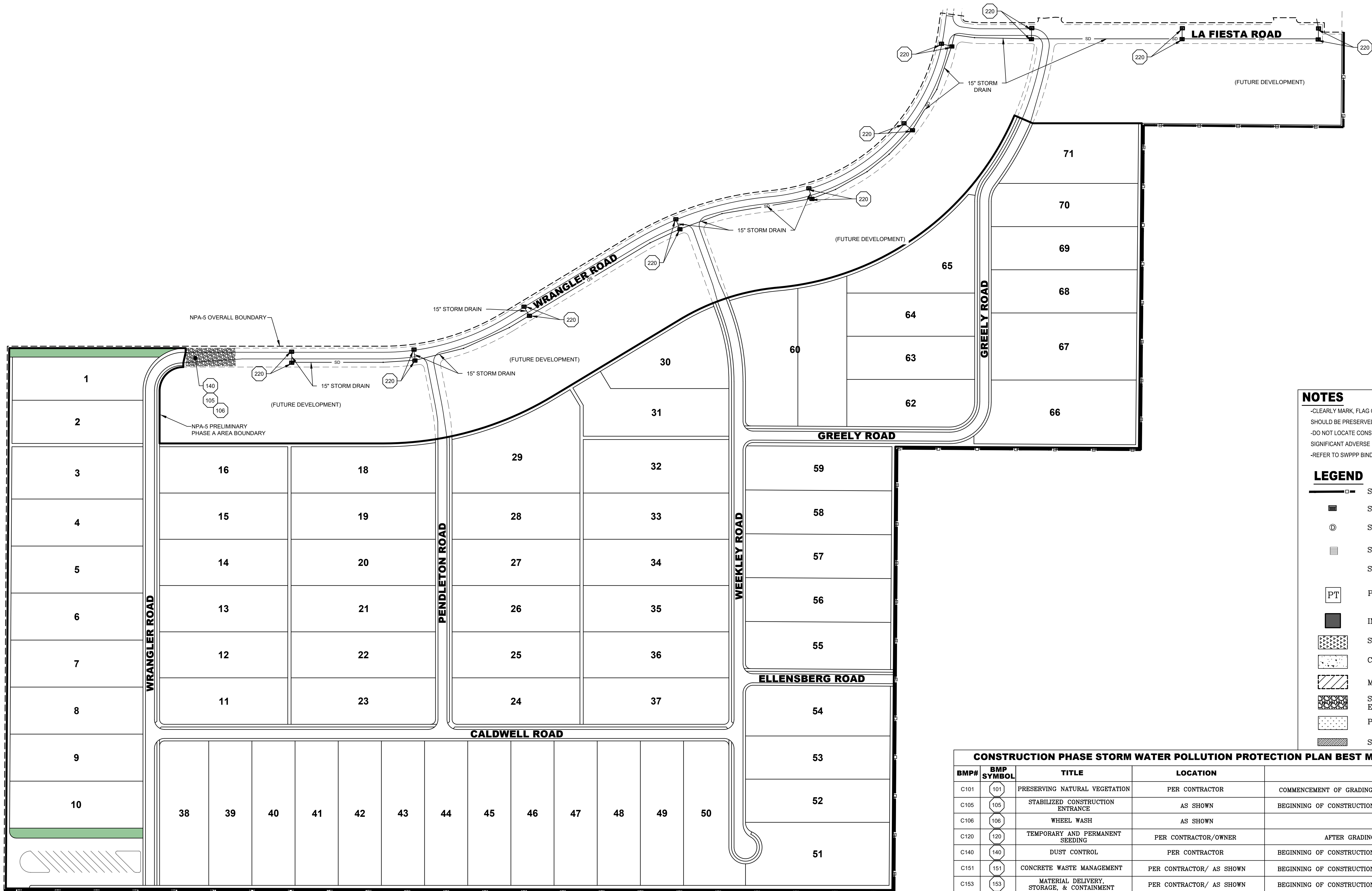
1"=150'

DATE:

9/18/2023

SHEET

701



NOTES

- CLEARLY MARK, FLAG OR FENCE VEGETATION OR AREAS WHERE VEGETATION SHOULD BE PRESERVED.
- DO NOT LOCATE CONSTRUCTION TRAFFIC ROUTES, SPOIL PILES, ETC. WHERE SIGNIFICANT ADVERSE IMPACT ON EXISTING VEGETATION MAY OCCUR.
- REFER TO SWPPP BINDER FOR BMP DETAILS SHOWN ON THIS PLAN.

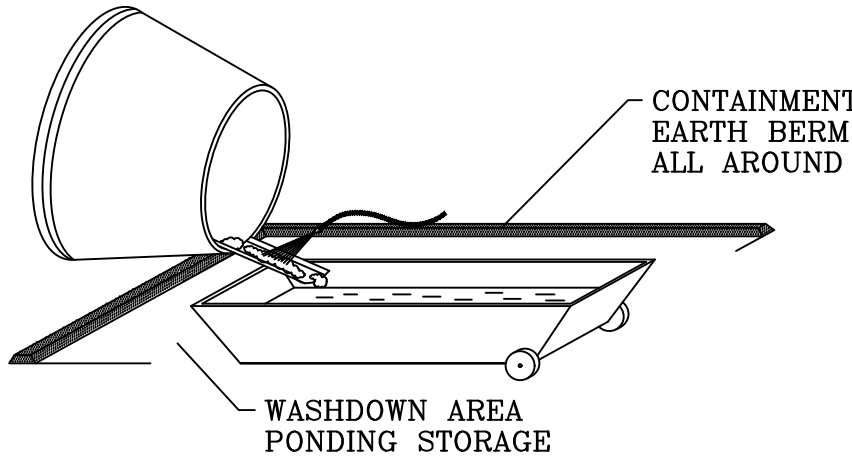
LEGEND

- SILT FENCE
- STORMDRAIN CURB INLET
- STORMDRAIN MANHOLE
- STORMDRAIN CATCH BASIN
- STORMDRAIN LINE
- PORTABLE TOILETS
- INLET PROTECTION
- SWPPP BOARD BMP
- CONCRETE WASTE MGMT. AREA
- MATERIAL STORAGE AREA
- STABILIZED CONSTRUCTION ENTRANCE
- PRESERVE EXISTING VEGETATION
- STRAW WATTLES

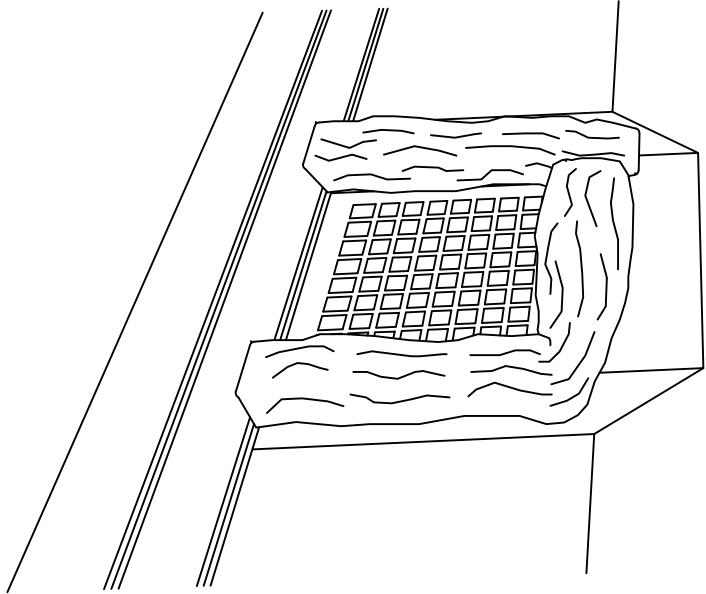
CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C120	120	TEMPORARY AND PERMANENT SEEDING	PER CONTRACTOR/OWNER	AFTER GRADING UNTIL COMPLETION OF PROJECT
C140	140	DUST CONTROL	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C153	153	MATERIAL DELIVERY, STORAGE, & CONTAINMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	PER CONTRACTOR	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C257	257	SWPPP BOARD BMP	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS

1. CONTROLLING SEDIMENT TRANSPORT AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF PROCESSES THAT COULD OCCUR BOTH DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED. PARTICULAR ATTENTION SHALL BE GIVEN TO EXISTING DRAINAGE PATTERNS THAT RUN THROUGH DISTURBED AREAS AND OVER EXTREME SLOPES. THESE PATTERNS WILL BE IDENTIFIED TO ISOLATE PROBLEM AREAS WHERE WATER WILL CONCENTRATE. PROVISIONS SHALL BE MADE TO CHANNEL RUNOFF AWAY FROM NEW OR EXISTING IMPROVEMENTS TO PREVENT UNDERMINING AND GENERAL SITE EROSION. THESE PROVISIONS SHALL BE STABILIZED AND SHALL REMAIN IN PLACE UNTIL THE PERMANENT STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
2. EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION, OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. A NOTICE OF INTENT (NOI) HAS BEEN SUBMITTED TO OBTAIN THE UPDES CONSTRUCTION PERMIT. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. BEFORE CONSTRUCTION BEGINS, THE LIMITS OF DISTURBANCE (LOD) BOUNDARY SHALL BE STAKED ON SITE AND APPROVED BY THE OWNER'S REPRESENTATIVE AND THE ENGINEER.
4. EXCAVATION AND EMBANKMENT OPERATIONS SHALL PROCEED IN SUCH A MANNER SO THAT FINISHING OF SLOPES, INCLUDING REVEGETATION SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER ROUGH GRADING. ALL SLOPES 2:1 OR FLATTER SHALL BE SCARIFIED WITH HEAVY EQUIPMENT, LEAVING TRACKS PERPENDICULAR TO THE SLOPES. SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
5. CUT AND FILL SLOPES SHALL BE CONDUCTED PER THE GEOTECHNICAL REPORT. THE TOPS OF ALL CUT SLOPES IN SOIL SHALL BE ROUNDED FOR A HORIZONTAL DISTANCE OF THREE (3) FEET BEYOND THE CATCH POINT. SLOPE ROUNING SHALL OCCUR AS THE SLOPE IS BEING BROUGHT DOWN. THE OVERALL SHAPE, HEIGHT AND GRADE OF ANY CUT AND/OR FILL SLOPE SHALL BE DEVELOPED IN CONCERT WITH EXISTING NATURAL CONTOURS, SCALE AND VEGETATION OF NATURAL TERRAIN.
6. EXISTING VEGETATION SHOULD BE PRESERVED WHEREVER POSSIBLE AND DISTURBED PORTIONS OF THE SITE SHALL BE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE, BUT NOT LIMITED TO, TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATION BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION AND OTHER APPROPRIATE MEASURES. USE OF IMPERVIOUS SURFACES FOR STABILIZATION SHALL BE AVOIDED. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED.
7. SPECIFICALLY OUTLINED DISTURBED AREAS, BOTH ON AND OFF-SITE SHALL BE REVEGETATED. THESE AREAS SHALL BE INCLUDE, BUT NOT BE LIMITED TO, ALL UNSURFACED AREAS WITHIN THE STAKED LOD, STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS, BENCHED AREAS, INCLUDING RETAINING WALL BENCHES, AND TEMPORARY OR EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES.
8. CONTROLLED OUTLETS SHALL DIRECT COLLECTED RUNOFF THROUGH SILT FENCES OR STRAW BALES.
9. TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS CONSISTENT WITH UTAH STATE DIVISION OF AIR QUALITY STANDARDS.
10. ANY SEDIMENT TRACKED OFF-SITE SHALL BE REMOVED PRIOR TO THE END OF THE WORK SHIFT OR PRIOR TO SUNSET, WHICHEVER COMES FIRST.
11. CONTRACTOR MAY ADJUST THE LOCATIONS OF THE CONSTRUCTION FENCE, CONSTRUCTION TRAILERS, AND CONSTRUCTION MATERIALS RECEIVING AND STORAGE AREAS, AS NEEDED TO ACCOMPLISH THE CONSTRUCTION. ALL CHANGES SHALL BE NOTATED ON THE EROSION CONTROL PLAN.
12. THE CONTRACTOR SHALL CONDUCT PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES, AS REQUIRED AND NOTATED IN THE SWPPP. THE CONTRACTOR WILL MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.
13. ANY TREE 12" IN DIAMETER OR LARGER WILL NOT BE REMOVED UNTIL LOCATED BY SURVEY AND THE REMOVAL APPROVED BY THE OWNER OR EQUAL.
14. ALL DITCHES AND SWALES GREATER THAN 5% SHALL BE ARMORED WITH AN APPROPRIATE EROSION CONTROL/REVEGETATION STABILIZATION MAT TO PROMOTE REVEGETATION.
15. CONTRACTOR MAY ADJUST THE LOCATION OF CONCRETE WASHOUT AREAS AS NEEDED TO ACCOMPLISH THE CONSTRUCTION.
16. INLET PROTECTION REQUIRED ON ALL INLETS WITHIN 500' DOWNSTREAM OF SITE.

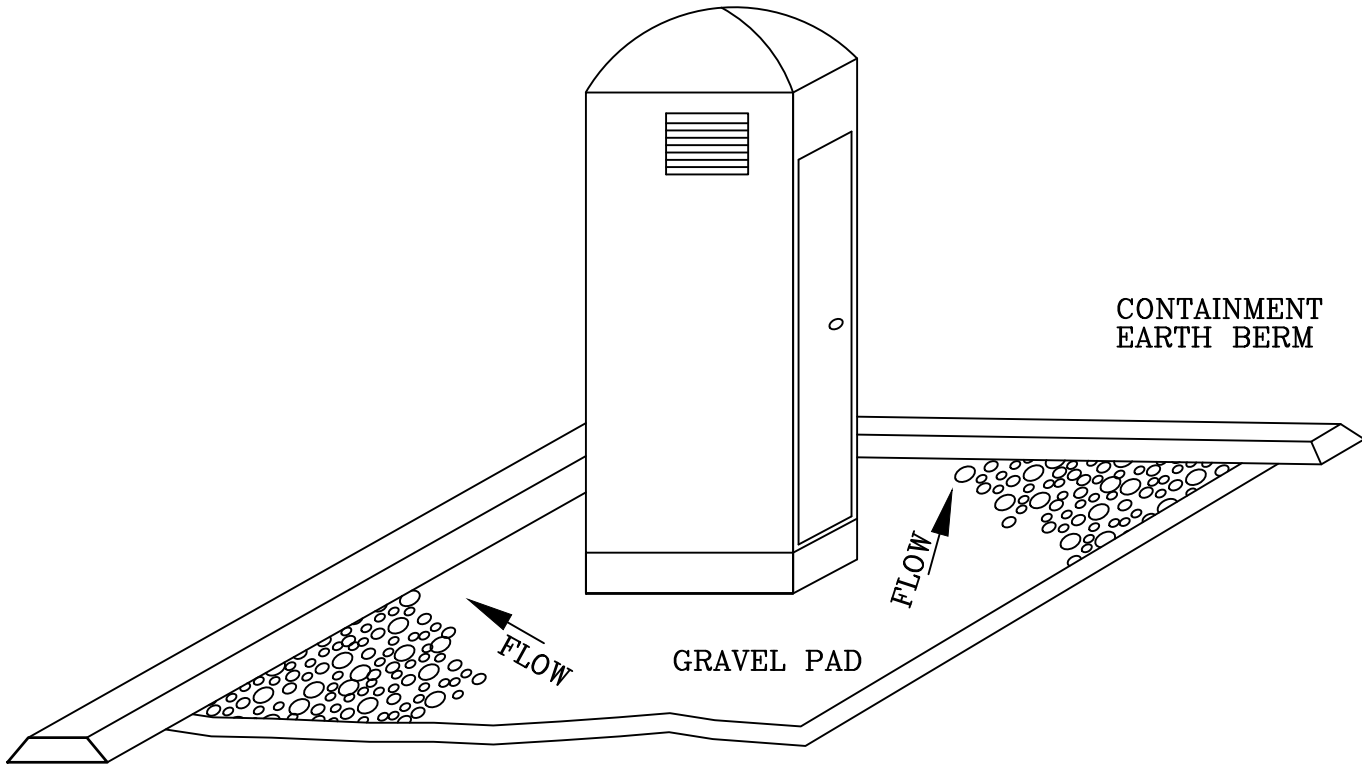


CONCRETE WASTE MANAGEMENT



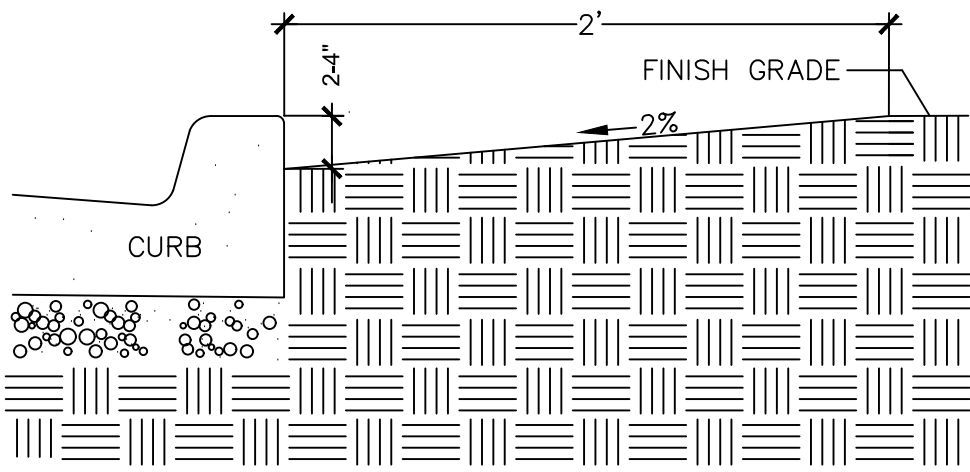
INLET PROTECTION - WATTLE

WATTLE MAY BE GRAVEL FILLED OR STRAW FILLED. INSTALL WHEN CONSTRUCTION OF CURB AND GUTTER AND ROADWAYS IS COMPLETE.

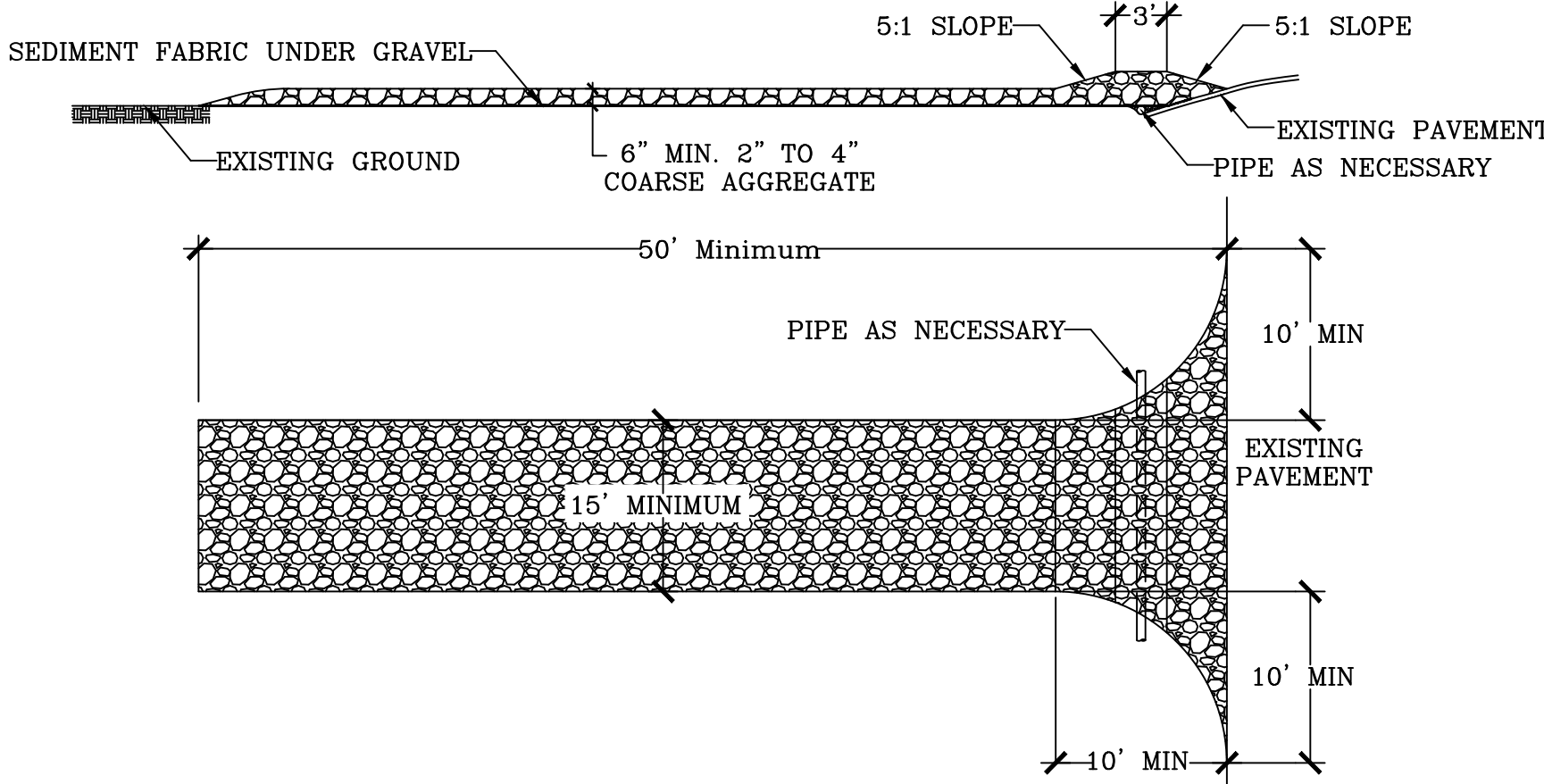


PORTABLE TOILET

PORTABLE TOILETS TO BE INSTALLED DURING ALL CONSTRUCTION PHASES.

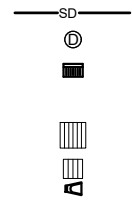


CURB SEDIMENTATION TRAP



STABILIZED CONSTRUCTION ENTRANCE

STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL SUCH TIME AS ROADS AND PARKING LOT IS ASPHALTED. SEE APWA - 2012



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NOT FOR
CONSTRUCTION

firefly NPA 5, PRELIMINARY PHASE A
EAGLE MOUNTAIN, UTAH

EROSION CONTROL DETAILS

REVISIONS

1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

LEI PROJECT #:

2021-0080

DRAWN BY:

TJP

DESIGNED BY:

GDM / BCT

SCALE:

1"=###'

DATE:

9/18/2023

SHEET

702

Firefly NPA 5, Phase A

Item	Assigned	City Comments	Page
1	CLH	If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	101
2	CLH	What does owned and maintained mean? Should there be a maintenance agreement explaining the details?	101
3	LEI	AutoCAD file to check addresses	101
4	CLH	If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	101
5	LEI	Erosion control plan needed.	101
6	LEI	What improvements are planned there? (paving, striping, wheel stops, planters, signage, etc.) Refer to Chp. 3 of the approved/adopted Community Plan	101
7	LEI	Is this a parking lot for a trailhead?	101

8	CLH	If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	201
9	CLH	If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	202
10	LEI	See note on detail page	301
11	CLH	If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	302
12	LEI	move services away from hydrant, move to other side of the lots. TYP.	302
13	CLH	In areas trails will be re-vegetated, please consider using the EMC rangeland seed mix, see https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	302

14	CLH	If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	303
15	CLH	If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	303
16	LEI	move services away from hydrant, move to other side of the lots. TYP. If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	303
17	CLH	If "future development" areas will be longer than 2 growing seasons away and they have been disturbed in the construction process, please consider seeding them with EMC rangeland seed mix see https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	401
18	LEI	City will need drainage calcs, location of retention pond, volume;	401
19	LEI	Any swale crossings under driveways/roadways need to be minimum of 15" pipe	601
20	LEI	Single service per residential lot. One corp stop per lot with service line, manifold not accepted on large lots.	601

21	CLH	Is the HOA going to maintain the parkstrips and the trails, specifically the equestrian trails in the rural cross section	601
22	CLH	Can we add an improved asphalt trail in the rural road cross section?	601
23	LEI	Fire Notes In areas trails will be re-vegetated, please consider using the EMC rangeland seed mix, see	601
24	CLH	https://eaglemountaincity.com/wp-content/uploads/2023/08/EMCity-rangelandseedmix-23.pdf	601

Response To City

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

It means the Homeowner's Association will be responsible for all maintenance and ownership responsibilities of the said parcels.

CAD file has been provided.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

Erosion control plan has been added to plan set.

At this point, it is planned to be a gravel parking lot with wheel stops

It is a parking lot that provides access for an existing dirt trail that heads southwest.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

Noted

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

Plans have been updated.

We agree. A note has been added to the trail detail on Sheet 601.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

Plans have been updated.

We agree. A note has been added to most of the sheets requiring this seed mix to be used in these circumstances.

The storm drain report has been updated to include a typical lot drainage plan and typical drainage calculations for each lot.

A note has been added to the plans.

All services have been updated to show a single service per lot. Dual service detail has been removed.

The HOA will maintain the trails. The homeowner will maintain the parkstrips.

The developer would prefer to keep this trail as a road base trail to maintain the rural feel of the neighborhood

Fire notes have been added.

We agree. A note has been added to the trail detail on Sheet 601.