



EAGLE MOUNTAIN PLANNING COMMISSION MEETING

July 25, 2023, 5:30 PM

Eagle Mountain City Council Chambers
1650 East Stagecoach Run, Eagle Mountain, Utah 84005

5:30 P.M. - Eagle Mountain City Planning Commission Work Session

1. Discussion Items

1.A WORKSESSION ITEM: SMALL AREA PLANS UPDATE AND REVIEW

Planning Commission Review of Consultant-Presented Small Area Plans for Three Locations in the City.

1.B DISCUSSION ITEM: PARKWAY FIELDS FENCING

Planning Commission review and recommendation of a request by Flagship Homes to allow vinyl fencing (see exhibit/attachment) to be used in lieu of a decorative concrete or masonry wall along collector rights-of-way within, or adjoining, the Parkway Fields residential development.

[Parkway Fields - Fence Info.](#)

6:30 P.M. - Eagle Mountain City Planning Commission Policy Session

2. Pledge of Allegiance

3. Declaration of Conflicts of Interest

4. Approval of Meeting Minutes

4.A July 11, 2023 Planning Commission Minutes

[PC 07.11.23 DRAFT Minutes](#)

5. Status Report

6. Action and Advisory Items

6.A HEARING ITEM: CLEVERLY COURT REZONE AND PRELIMINARY PLAT

Planning Commission review and recommendation regarding a proposed rezone of a 1.25-acre parcel of land (Utah County Assessor No. 59:007:0122 -- also addressed as 4264 North Cedar Valley Drive -- which adjoins Eagle Point J Subdivision at the northeast end of N. Cedar Valley Drive) from Agriculture to Foothills Residential (FR), and, a request for a recommendation pertaining to an associated Preliminary Plat Application (Cleverly

Subdivision) to facilitate creation of a one-lot residential subdivision on the same property.

[Cleverly Property Vicinity Map](#)

[Cleverly Aerial Map Showing Property Surrounds](#)

[Cleverly Future Land Use Map Image](#)

[Cleverly Subd. Proposed Prelim. Plat](#)

[Utility Plan](#)

6.B [ACTION ITEM -- PUBLIC HEARING: AMENDING SECTION 17.25.050
GENERALLY APPLICABLE PROVISIONS, AND 17.49.030 APPLICABILITY](#)

Recommendation to adopt wash setback standards to regulate structure setbacks from natural washes within the City. Staff recommends the minimum setback of 75 feet.

[Wash Setback Eng Letter](#)

[EMMC 17.25.050 and 17.49.030](#)

6.C [ACTION ITEM -- PUBLIC HEARING: SITE PLAN APPROVAL OF A TO Z
BUILDING BLOCKS ADDITION](#)

Planning Commission review of a site plan approval recommendation request by A to Z Building Blocks for an addition to their current building, located at 3563 E. Ranches Parkway.

[Civil and Site - A to Z](#)

[Elevations - A to Z](#)

[Parking Diagram - A to Z](#)

[3D Elevations - A to Z](#)

[Parking Lease Agreement - A to Z](#)

[Shared Parking Table - A to Z](#)

[Landscape - A to Z](#)

[Photometric Plan - A to Z](#)

[Lighting Schedule - A to Z](#)

[Snow Removal - A to Z](#)

7. **Discussion Items**

8. **Next scheduled meeting**

9. **Adjournment**

THE PUBLIC IS INVITED TO PARTICIPATE IN PUBLIC MEETINGS FOR ALL AGENDAS.

In accordance with the Americans with Disabilities Act, Eagle Mountain City will make reasonable accommodation for participation in all Public Meetings and Work Sessions. Please call the City Recorder's Office at least 3 working days prior to the meeting at 801-789-6610. This meeting may be held telephonically to allow a member of the public body to participate. This agenda is subject to change with a minimum 24-hour notice.



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 25, 2023**

TITLE: WORKSESSION ITEM: SMALL AREA PLANS UPDATE AND REVIEW

ITEM TYPE: Discussion

APPLICANT: Eagle Mountain City

ACTION ITEM:

No

PUBLIC HEARING:

No

PREPARED BY:

Robert Hobbs, Planning

BACKGROUND:

The City hired a consultant team consisting of Downtown Redevelopment Services, CRSA, Zions Public Finance, and Avenue Consultants to prepare "small area plans" for three major economic development areas in the city - The Gateway, the Commercial Core, and the MidValley area. These plans are intended as a master-planning step that will be more detailed than the City's General Plan, and will help determine the desired future land uses and transportation routes for these areas, and ultimately include design guidelines and renderings to guide the landowners and developers. The consultants recently completed a public open house and met with the various landowners, and have put together some preferred scenarios based upon the public and landowner comments as well as some input from the City steering committee. They are now seeking the Planning Commission's feedback.

ITEMS FOR CONSIDERATION:

REQUIRED FINDINGS:

RECOMMENDATION:

Please listen to the presentation and provide any feedback and thoughts to the consultants and City staff.

ATTACHMENTS:



EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 25, 2023

TITLE: DISCUSSION ITEM: PARKWAY FIELDS FENCING

ITEM TYPE: Alternative Fencing Plan

APPLICANT: Bronson Tatton representing

ACTION ITEM:

Yes

PUBLIC HEARING:

No

PREPARED BY:

Robert Hobbs, Planning

BACKGROUND:

Applicant had submitted a request via email to ask the Planning Commission to consider advancing a positive recommendation to the City Council regarding use of an alternative fencing material type along collector roadways abutting, or within, the Parkway Fields development.

ITEMS FOR CONSIDERATION:

Land areas in residential subdivisions that abut collector right-of-way have been considered as being encumbered with a requirement, per EMMC 17.60.120 & 16.35.090, to install privacy fencing as part of their development. The wording in the sentence that mandates use of "durable quality" fencing. While not expressly defined in the residential paragraph (paragraph no. 1 of the sub-section), it is defined in the commercially oriented paragraph (no. 2) that follows -- stating that "durable quality" is considered "stone, masonry, or decorative concrete". To argue that the definition only applies to commercial applications would run counter to past City interpretation and application of the code language. Since paragraph no. 1 of 16.35.090 authorizes the City Council to "require a specific material and color for the fencing in a development agreement", it is believed that the same authority should rest in them to use Council when addressing a project whose inception was [previously] memorialized in a Development Agreement.

(Note that the 3' fencing along Tiffany Lane has already been approved by the City Council during plat reviews.)

REQUIRED FINDINGS:

17.60.0120.S. General Fencing Provisions: Collector and Arterial Fencing Standards:

EMMC requires that: [i]t shall be the responsibility of the property owner and/or developer to build and the responsibility of the property owner or HOA to maintain at their own expense a wall or fence consistent with the standards found in this chapter and EMMC 16.35.090 for side and rear property lines along collector and arterial roadways.

1. Residential developments designed with rear or side lot lines abutting an arterial road or collector road right-of-way shall install privacy fencing consistent with the Eagle Mountain collector and arterial fencing standards found in this title and EMMC 16.35.090 along the rear and/or side lot lines abutting an arterial or collector road. Developer applicants are required to install privacy fencing prior to any building permits being issued in that phase of development. After fencing is installed, it shall be maintained in good repair and a consistent manner by the property owner.

...

3. Residential Arterial and Collector Road Fencing Standards. All arterial and collector road residential fencing shall be built with a durable quality fence/wall as defined by EMMC 16.35.090. Acceptable material and design examples are outlined in EMMC 17.60.110(B).

...

16.35.090 Privacy fencing.

EMMC requires that: "[r]esidential developments designed with rear or side lot lines abutting an arterial road or collector road right-of-way shall install privacy fencing of consistent height (no less than six feet), material and color, and of durable quality along the rear or side lot lines of all lots with a rear or side lot line abutting an arterial or collector road. Developer applicants are required to install privacy fencing prior to any building permits being issued in that phase of development. The city council shall be authorized to require a specific material and color for the fencing in a development agreement.... Durable quality" shall mean fencing of stone, masonry,

or decorative concrete. Vinyl, wood alternative composite material, and wood fencing shall not be allowed along rear or side lot lines abutting an arterial or collector road. For industrial developments, “durable quality” shall include chain link fencing that complies with EMMC 17.60.130."

RECOMMENDATION:

Lacking a quick and easy review process for this matter, we put it on the Planning Commission worksession agenda to trigger a return recommendation (informal in a sense) to the Council respecting this matter.

Consistent fence application would call for use of the kind of fencing required by code. However, there is a lot of right-of-way (ROW) that is associated with Parkway that would be required to install the fencing. Staff notes that such walls are most often seen separating non-compatible uses such as commercial against residential types as contemplated by our code.

ATTACHMENTS:

[Parkway Fields - Fence Info.](#)

Parkway Fields



Fencing Material Approval
Planning Commission Meeting

Fencing Material

Weathered Gray Estate Style Vinyl Fence

- 6' height Privacy
- 3' height Rail Fence



Fencing Material

Locally produced in Ogden Utah with national support

Integral color

Steel Reinforced Rails

Ease of replacement if vandalized

Low cost of maintenance

Warranty:

- Lifetime Product Warranty
- Bowing
- Distortion
- Discoloration



Fencing Material

Collectors

 6' Height Privacy

 3' Height Rail





EAGLE MOUNTAIN Planning Commission MEETING MINUTES

July 11, 2023, 6:30 p.m.
Eagle Mountain City Council Chambers
1650 East Stagecoach Run, Eagle Mountain, Utah 84005

COMMISSION MEMBERS PRESENT: Commissioners Jeremy Bergener and Brent Strong and Alternate Commissioner Robert Fox. Commissioner Jason Allen was excused.

COMMISSION MEMBERS PRESENT ELECTRONICALLY: Commissioner Matthew Everett.

CITY STAFF PRESENT: Steve Mumford, Deputy City Administrator/Community Development Director; Marcus Draper, City Attorney; Robert Hobbs, Planning Manager; and Steven Lehmitz, Planner.

CITY STAFF PRESENT ELECTRONICALLY: Elizabeth Fewkes, Recording Secretary.

6:30 P.M. – Eagle Mountain City Planning Commission Policy Session

Commissioner Bergener called the policy session to order at 6:30 p.m.

1. Pledge of Allegiance

Commissioner Bergener led the Pledge of Allegiance.

2. Declaration of Conflicts of Interest

None.

3. Approval of Meeting Minutes

3.A. June 27, 2023 Planning Commission Minutes

MOTION: *Commissioner Strong moved to approve the June 27, 2023 minutes. Commissioner Bergener seconded the motion.*

Those Voting Yes

☐ ***Jason Allen***
Jeremy Bergener
Matthew Everett
Robert Fox
Brent Strong

Those Voting No

☐ ***Jason Allen***
☐ ***Jeremy Bergener***
☐ ***Matthew Everett***
☐ ***Robert Fox***
☐ ***Brent Strong***

Those Abstaining

☐ ***Jason Allen***
☐ ***Jeremy Bergener***
☐ ***Matthew Everett***
☐ ***Robert Fox***
☐ ***Brent Strong***

Those Absent

Jason Allen
☐ ***Jeremy Bergener***
☐ ***Matthew Everett***
☐ ***Robert Fox***
☐ ***Brent Strong***

The motion passed with a unanimous vote. As the Planning Commission has a vacancy and Commissioner Allen was absent, Alternate Commissioner Robert Fox voted.

4. Status Report

Staff reviewed the planning items discussed and voted upon during the July 5, 2023 Special City Council meeting.

5. Action and Advisory Items

5.A. ACTION ITEM – DEVELOPMENT CODE AMENDMENT: REPEAL OF RTI ZONE'S SUNSET DATE (17.48.110)

City Attorney Marcus Draper explained per EMMC 17.48.110, the Regional Technology and Industry Overlay (RTI) will automatically be repealed on May 31, 2025, unless the City Council either extends the deadline through an amendment to the Code or repeals the section. A business that intends to utilize the RTI Overlay Zone in its future plans feels the automatic repeal date will be a deterrent for economic development of their parcel. They have requested the removal of the repeal date to prevent them ending up with a nonconforming use with contractual rights which they feel would make their property less marketable. The City Council still retains the authority to repeal the RTI Overlay at any time they desire.

Commissioner Bergener opened the public hearing at 6:39 p.m. As there were no comments, he closed the hearing.

Commissioner Everett suggested replacing the automatic repeal date with a scheduled review to evaluate the uses permitted in the overlay to determine if the uses are still appropriate and desirable at that time.

Commissioner Bergener stated that he is in favor of the removal of the automatic repeal date as more than one business has indicated hesitancy to develop in the City because of the clause which impacts the purpose and effectiveness of the overlay to make the City more competitive in the market. He is willing to entertain a periodic review of the uses and inquired regarding Mr. Draper's opinion on adding a scheduled review date to the standards.

Mr. Draper noted the City can elect to review the standards at any time regardless of the inclusion of a specified review date. Businesses might have questions and concerns regarding a scheduled review for the intention of evaluating and possibly removing currently allowed uses in the overlay especially due to the scale and timing of projects using the overlay to develop hundreds of acres over multiple decades.

MOTION: ***Commissioner Fox moved to recommend approval to the City Council of an amendment to Eagle Mountain Municipal Code 17.48.110 Regional Technology and Industry Overlay Zone Repeal Date. Commissioner Bergener seconded the motion.***

Those Voting Yes	Those Voting No	Those Abstaining	Those Absent
☐ Jason Allen	☐ Jason Allen	☐ Jason Allen	Jason Allen
Jeremy Bergener	☐ Jeremy Bergener	☐ Jeremy Bergener	☐ Jeremy Bergener
Matthew Everett	☐ Matthew Everett	☐ Matthew Everett	☐ Matthew Everett
Robert Fox	☐ Robert Fox	☐ Robert Fox	☐ Robert Fox
Brent Strong	☐ Brent Strong	☐ Brent Strong	☐ Brent Strong

The motion passed with a unanimous vote. As the Planning Commission has an unfilled vacancy and Commissioner Allen was absent, Alternate Commissioner Robert Fox voted.

5.B. ACTION ITEM – PUBLIC HEARING: SITE PLAN APPROVAL OF A TO Z BUILDING BLOCKS ADDITION

MOTION: ***Commissioner Everett moved to table a site plan for A to Z Building Blocks addition pursuant to the Planning Commission Rules of Order and Procedure III(D)4, “Corrections or amendments for submitted applications must be delivered to the Planning Department on the Wednesday prior to the next regularly scheduled Planning Commission meeting by noon.” Commissioner Bergener seconded the motion.***

Those Voting Yes	Those Voting No	Those Abstaining	Those Absent
☐ Jason Allen	☐ Jason Allen	☐ Jason Allen	Jason Allen
Jeremy Bergener	☐ Jeremy Bergener	☐ Jeremy Bergener	☐ Jeremy Bergener
Matthew Everett	☐ Matthew Everett	☐ Matthew Everett	☐ Matthew Everett
Robert Fox	☐ Robert Fox	☐ Robert Fox	☐ Robert Fox
Brent Strong	☐ Brent Strong	☐ Brent Strong	☐ Brent Strong

The motion passed with a unanimous vote. As the Planning Commission has an unfilled vacancy and Commissioner Allen was absent, Alternate Commissioner Robert Fox voted.

6. Discussion Items

7. Next Scheduled Meeting

The next Planning Commission meeting is scheduled for July 25, 2023.

8. Adjournment

MOTION: ***Commissioner Fox moved to adjourn at 6:54 p.m. Commissioner Strong seconded the motion.***

Those Voting Yes	Those Voting No	Those Abstaining	Those Absent
☐ Jason Allen	☐ Jason Allen	☐ Jason Allen	Jason Allen
Jeremy Bergener	☐ Jeremy Bergener	☐ Jeremy Bergener	☐ Jeremy Bergener

Matthew Everett	☐	Matthew Everett	☐	Matthew Everett	☐	Matthew Everett
Robert Fox	☐	Robert Fox	☐	Robert Fox	☐	Robert Fox
Brent Strong	☐	Brent Strong	☐	Brent Strong	☐	Brent Strong

The motion passed with a unanimous vote.

The meeting was adjourned at 6:54 p.m.

Approved by the Planning Commission on July 25, 2023.

Steve Mumford, AICP
Deputy City Administrator/Community Development Director

DRAFT



EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 25, 2023

TITLE: HEARING ITEM: CLEVERLY COURT REZONE AND
PRELIMINARY PLAT

ITEM TYPE: Rezone and Preliminary Plat

APPLICANT: Dallas and Heidi Cleverly

ACTION ITEM:

Yes

PUBLIC HEARING:

Yes

PREPARED BY:

Robert Hobbs, Planning

BACKGROUND:

In May the City was contacted by one of the Applicants about building a home on the property made the subject of this report. Ensuing discussions revealed the need for the Applicants to begin the process of seeking Rezone and Subdivision approvals from the City. An application package was subsequently received from the Applicants to initiate that effort. DRC review of the proposed one-lot plat has already been conducted. The applications are now presented to the Planning Commission for review and action.

ITEMS FOR CONSIDERATION:

Rezone

Five Principal Factors Affect(ing) Rezones -- in no particular order:

1. Proposed Zone Conformance to the Adopted General Plan Future Land Use Map:

Applicable Future Land Use Category/Setting: Foothill Residential
Proposed Zone: Foothill Residential

Compatibility Check Opinion: Agreeable conformity per EMMC § 17.25.020 and adopted General Plan

2. Harmonization with Surrounding Zoning:

EMMC § 17.60.160 Table establishes appropriate zone transitions and compatible adjacencies. The [proposed] FR Zone is compatible with the following currently adopted zones: Ag, RD2, R1, CN, OS-I, OS-N.

Zone(s) North: Ag

Zone(s) East: Ag

Zone(s) South: Residential (likely Tier II)

Zone(s) West: Ag and Residential (likely Tier II)

Zoning Compatibility Opinion: Agreeable Zoning Compatibility per EMMC § 17.60.160 and old "Residential Zone" content

3. Harmonization with Current, Immediately Adjoining Land Use(s):

Land North: Open

Land East: Open

Land South: Single-Family Detached Housing

Land West: Open

Land Use Compatibility Opinion: Proposed zoning is/would be compatible with existing and future land use development given that it facilitates residential development which is already planned for and in place in the area immediately abutting the Applicants' property.

4. City Utility and Emergency Services Issues:

Applicants are aware that whoever develops the property will be tasked with installing utilities for the homesite. Emergency services are available to the site.

5. Traffic Related Issues:

Applicants are aware that N. Cedar Valley Drive will have to be extended as part of their subdivision's development to a point in line with the proposed northern side property line of the future Lot 1. Improvements commensurate with that extension (i.e., curb, gutter, relevant sidewalk, travel lanes paving, etc.) will required. The road's right-of-way is, and is to continue to be, a 53' wide span and to match the profile coming from the south out of Eagle Point Subdivision J as proposed on Applicants' plans.

6. Property Values:

Land Valuation Opinion: Approval of the applications will expectedly make the Applicant's land more marketable and buildable

in the current housing market in our area. Accordingly, we presume the property value of the Applicant's land will increase. No value decrease of consequence is predicted for adjoining lands.

Preliminary Plat (EMMC § 16.20)

The Project has been reviewed by the DRC Committee and suggested "redline" corrections incorporated into plat drawings (currently in Bluebeam electronic files).

Provided/proposed plat calculations:

Total Acreage -- .52 (22,575 sq. ft.)

Land Use Zone(s) -- FR

Total Lot Count – 1

Total Acreage in Lots – .52

Min. Lot Size Req'd. -- 10,890 sq. ft. (1/4 acre)

Min. Avg. Lot Size Req'd. -- 21,780 sq. ft. (1/2 acre) -- n/a

Min. Frontage Req'd. -- 90'

Min. Proposed Lot Frontage -- 108.76

Setback Req'd. (25' front/10' side/35' rear) -- plat note change required

Easements Req'd. as per City Engineering

Total Open Space Provided – 0-acres

Asphalt Pavement Area Internal to Subd. -- 0 sq. ft.

Notes:

1. Project is a one-lot subdivision.
2. DRC review revealed the need to make some revisions to the plat. Those included re-labeling the front of Lot 1 an centerline of Cedar Valley Drive, changing setback callouts on the plat page to match those required by the Foothill Residential Zone and making engineering related corrections.

Open Space & Amenities (EMMC §§ 16.35.105 & 17.25.050(l):
Deemed as non-applicable given plat nature/lot count.

ROW: Right-of-way improvement relegated to extending the 53' wide ROW and associated street improvements of N. Cedar Valley Drive north across the front of the proposed Lot 1 to the northernmost corner/end of the lot thereby providing full improved street frontage to the lot and a stub for future extension to the north.

Screening: n/a

Correspondence: Any correspondence from agencies or the citizenry is hereto attached. Agency comments may express opinions regarding the plat and site plan application set, or, be geared towards recommending Conditions of Approval for the entitlement and/or subdivision request should they be approved.

REQUIRED FINDINGS:

Rezoning is a legislative decision and is considered valid if reasonably debatable and not illegal (i.e., the decisions do not require the City Planning Commission or City Council to take action based on findings of facts). The criteria for approval for a Rezone are listed in EMMC § 17.90.060.

Plat and site plan approvals are based upon compliance with City code requirements and requirements of any applicable Development Agreement(s). Approval criteria [Conclusions of Law] for a Preliminary Plat Approval review request are iterated in EMMC § 16.20.

RECOMMENDATION:

Staff suggests that the Planning Commission advance a favorable recommendation to the City Council respecting the proposed Rezone and Preliminary Plat Approvals contingent upon:

1. Applicants and project conformance to corrections required by the DRC, including corrections of stated setbacks on plat (to reflect FR zoning), inclusion of required utility easements, revision of callouts for front property line and street centerline, etc.

ATTACHMENTS:

[Cleverly Property Vicinity Map](#)

[Cleverly Aerial Map Showing Property Surrounds](#)

[Cleverly Future Land Use Map Image](#)

[Cleverly Subd. Proposed Prelim. Plat](#)

Cleverly Property Vicinity Map

+ 0163
OF UTAH...
Value: \$0 - 99.96 acres

► Measurement

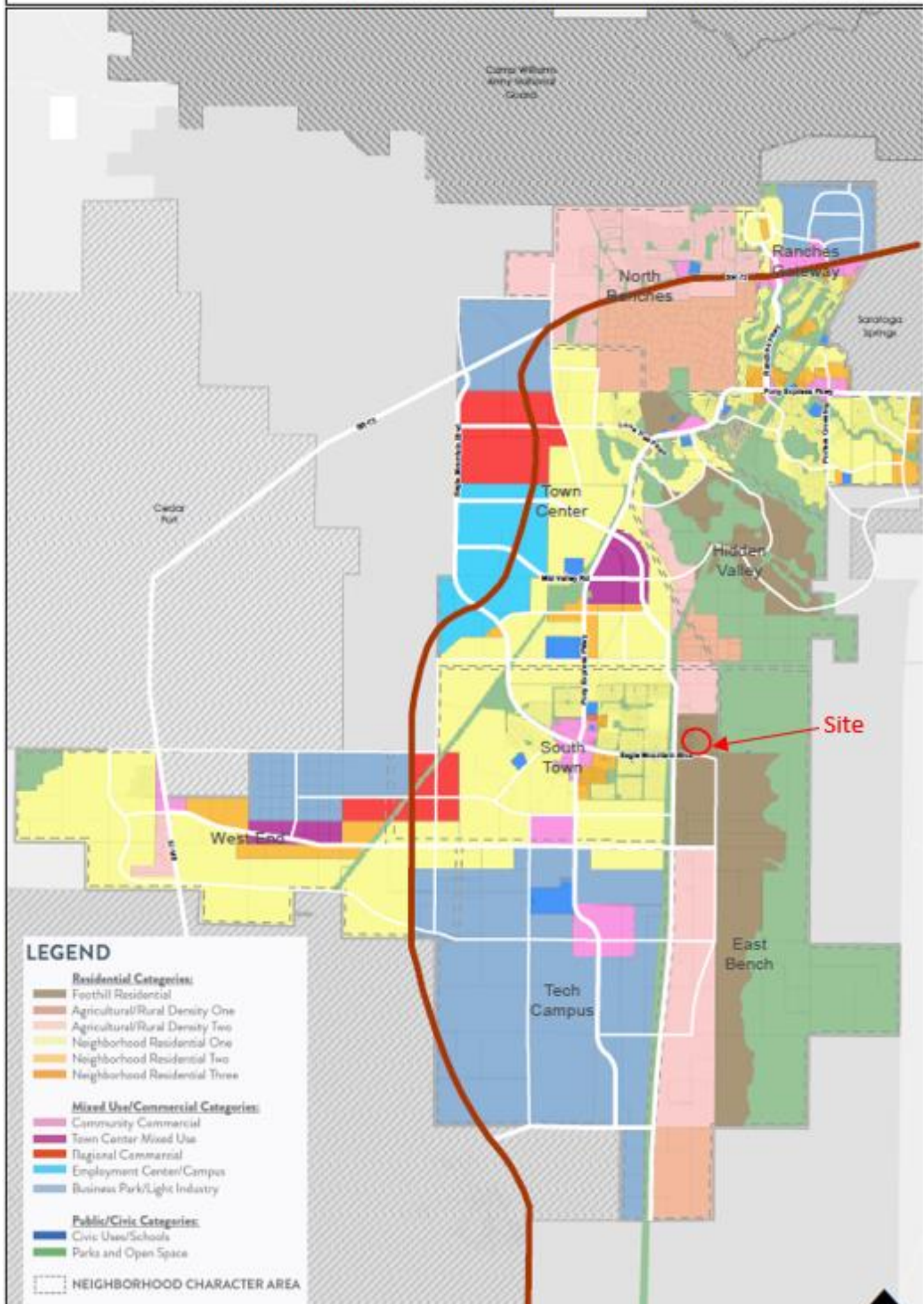


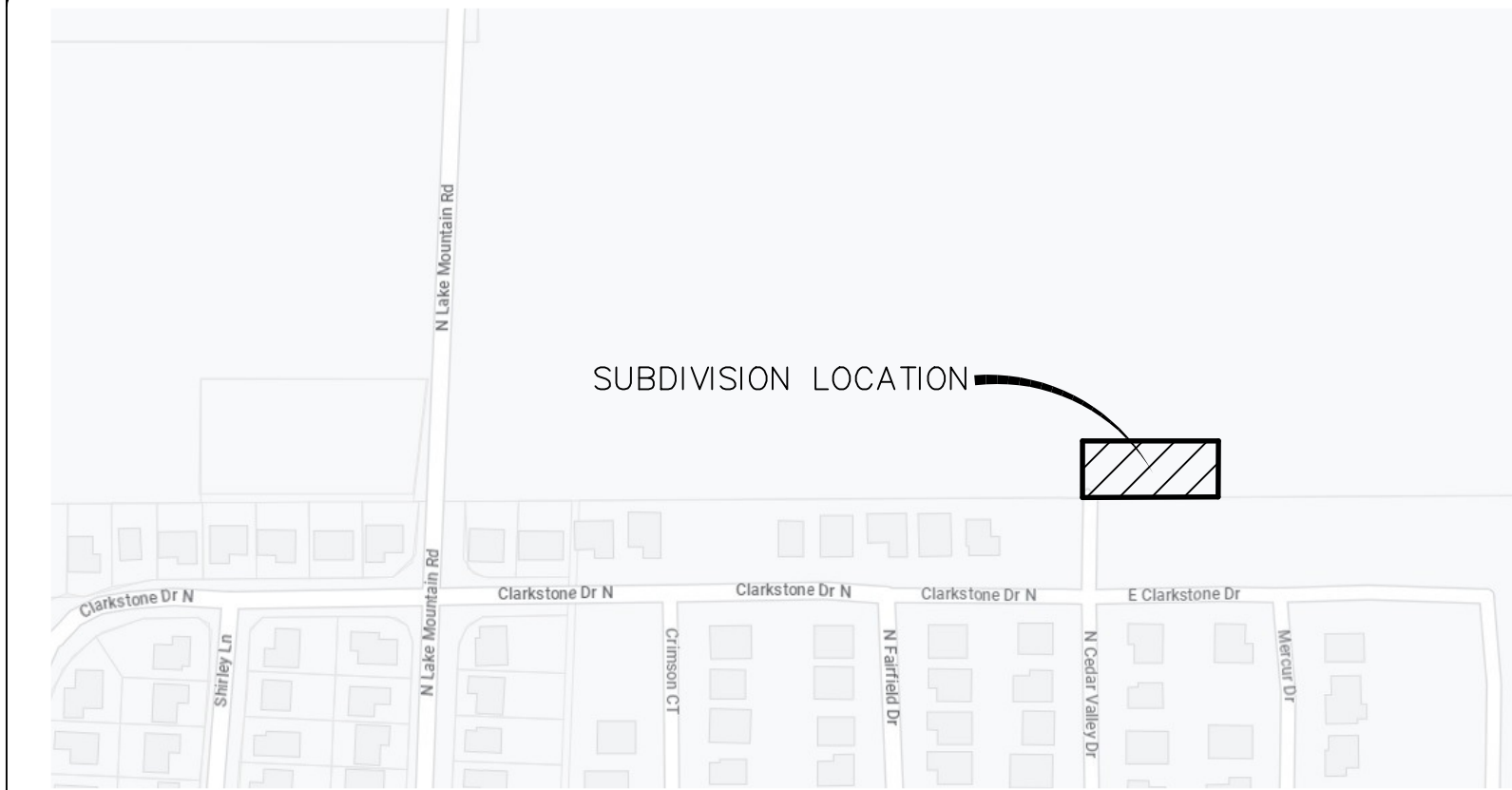
Open Deed Points Page

NEARMAP aerial image of Property and surrounds



FUTURE LAND USE & TRANSPORTATION MAP





VICINITY MAP
—NTS—

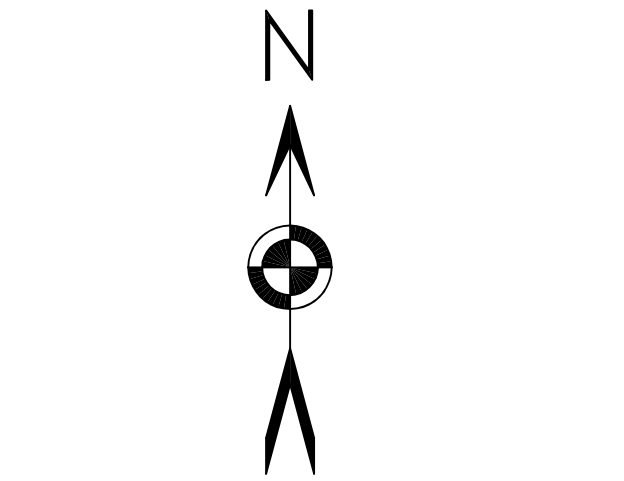
PLAT "A" CLEVERLEY COURT SUBDIVISION

PLAT CALCULATIONS:

TOTAL ACREAGE:	0.78 ACRES
BUILDABLE ACREAGE:	0.78 ACRES
TOTAL ACREAGE IN LOTS:	0.52 ACRES
RIGHT-OF-WAY AREA:	0.26 ACRES
TOTAL # OF LOTS:	1 LOT

LEGEND

- = SET 5/8" REBAR WITH CAP
◆ = SECTION CORNER
--- = LAND OWNER DEED DESCRIPTION LINE
--- = SECTION LINE
--- = EASEMENT
--- = DESCRIBED BOUNDARY
xxx EAST = LOT ADDRESS



SCALE
1"=20'

NORTHEAST CORNER OF THE
SOUTHEAST QUARTER OF
SECTION 7, T6S, R1W, SLB&M
(FOUND BC)

PLAT NOTES:

- SETBACKS: FRONT = 15'
DRIVEWAY = 22'
REAR = 20'
CORNER = 15'
SIDE = 15' TOTAL (5' MIN. & 10' ON GARAGE SIDE)
- ALL FRONT-FACING GARAGES MUST BE 22' FROM PROPERTY LINE.

LOT DRAINAGE NOTES:

- ALL LOTS ARE TO RETAIN ALL STORM WATER RUNOFF ON THEIR OWN LOT OR STORM WATER CAN BE DISCHARGED FROM THEIR LOT DIRECTLY INTO THE PUBLIC ROADWAY. HOWEVER, NO STORM WATER IS PERMITTED TO DRAIN ONTO AN ADJACENT LOT.
- ALL ROOF DRAINS FOR NEW HOMES ARE TO BE PIPED TO THE FRONT OF THE HOME SO THAT STORM WATER DISCHARGE FROM THE ROOF WILL DISCHARGE TO THE PUBLIC STREET.

DOMINION ENERGY UTAH

QUESTAR GAS COMPANY DBA DOMINION ENERGY UTAH HEREBY APPROVES THIS PLAT SOLELY FOR PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABRIGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

QUESTAR GAS COMPANY
DBA DOMINION ENERGY UTAH

APPROVED THIS ____ DAY OF _____ 2023.

BY: _____ TITLE: _____

ROCKY MOUNTAIN POWER

- PURSUANT TO UTAH CODE ANN 54-3-27 THIS PLAT CONVEYS TO OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN 17-27a-603A(4)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAD UNDER:
 - A RECORDED EASEMENT OR RIGHT-OF-WAY
 - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
 - TITLE 54, CHAPTER 6a, DAMAGE TO UNDERGROUND UTILITY FACILITIES, OR
 - ANY OTHER PROVISION OF LAW

ROCKY MOUNTAIN POWER

DATE

DIRECT COMMUNICATIONS

DIRECT COMMUNICATIONS CEDAR VALLEY, LLC CERTIFIES THAT IT WILL PROVIDE TELECOMMUNICATIONS SERVICES TO THIS SUBDIVISION UTILIZING THE TRENCHES PROVIDED BY THE DEVELOPER AS PER THE DIRECT COMMUNICATIONS CEDAR VALLEY P.S.C. UTAH No.1701011.

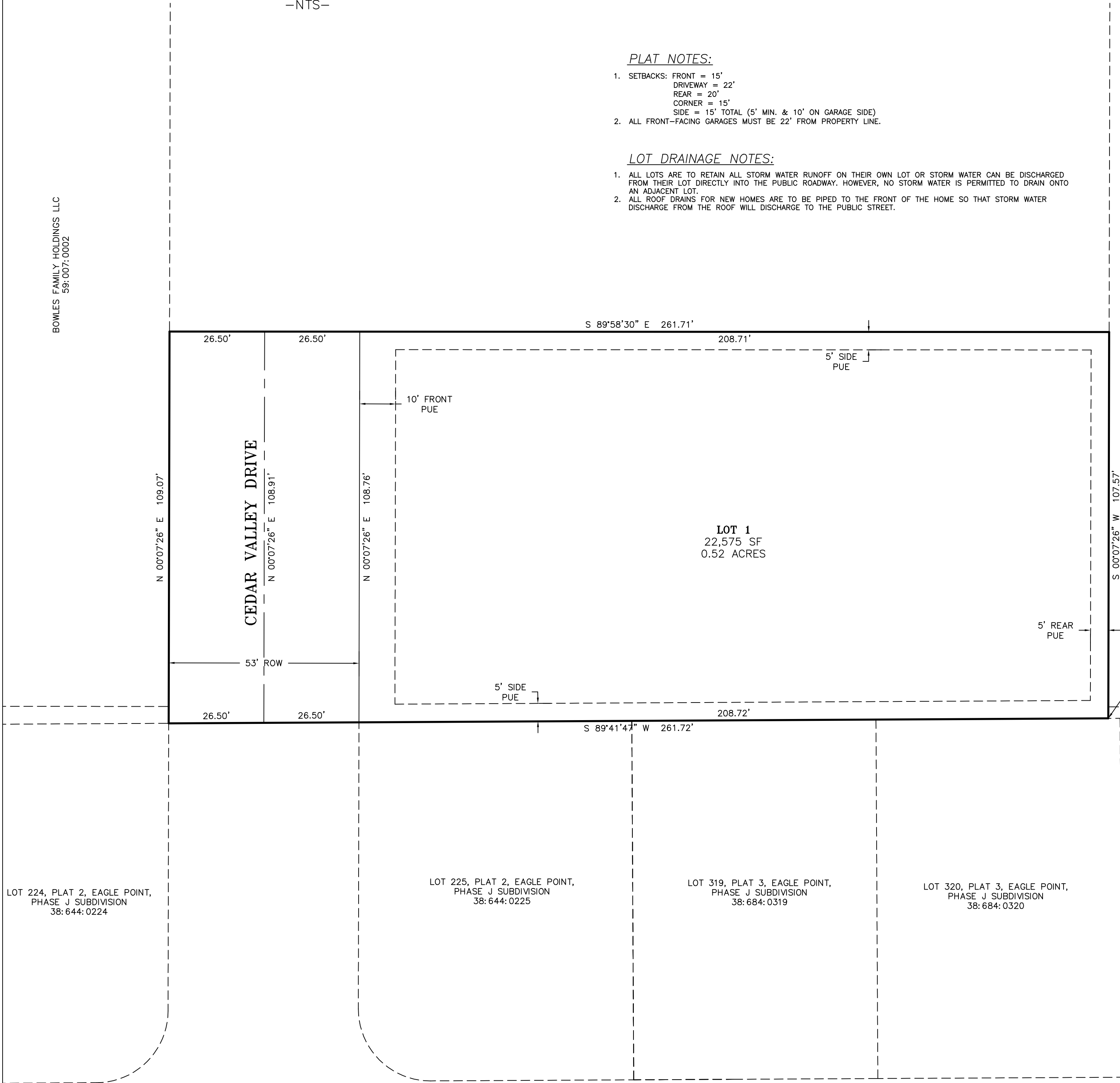
DIRECT COMMUNICATIONS

DATE

BOWLES FAMILY HOLDINGS LLC
59:007:0002

POB

BOWLES FAMILY HOLDINGS LLC
59:007:0002



CLARKSTONE DRIVE

LUDLOW ENGINEERS & ASSOCIATES

1451 SOUTH MAIN NEPHI, UTAH 84648
VOICE (435) 623-0897 FAX: (435) 623-2381 LE 4241

CERTIFICATION

I Daryl N. Penrod, do hereby certify that I am a registered land surveyor, and that I hold a license in accordance with Title 58, chapter 22, professional Engineers and Land Surveyors Licensing Act, Utah Code Annotated, 1953 as amended, certificate no. 5331527. I further certify that by the authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, and easements, have completed a survey of the property described on this plat in accordance with Section 17-23-17, Utah code Annotated, 1953 as amended, have verified all measurements, and have placed monuments as represented on the plat.

DARYL N. PENROD

DATE

BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH LIES S00°07'09"W 1221.52 FEET ALONG THE SECTION LINE AND S89°41'47"W 470.06 FEET FROM THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN; AND RUNNING THENCE ALONG THE NORTH LINES OF PLATS 2 & 3, PHASE "J" OF THE EAGLE POINT SUBDIVISION S89°41'47"W 261.72 FEET TO THE NORTHEAST CORNER OF LOT 224 OF SAID PLAT 2, SAID POINT ALSO BEING ON THE WEST RIGHT-OF-WAY OF CEDAR VALLEY DRIVE; THENCE N00°07'26"E 109.07 FEET; THENCE S89°58'30"E 261.71 FEET; THENCE S00°07'26"W 107.57 FEET TO THE POINT OF BEGINNING. CONTAINING 0.78 ACRES OF LAND.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE DIVIDED INTO LOTS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. THE PUBLIC UTILITY EASEMENTS TO ALL UTILITY PROVIDERS, PUBLIC OR PRIVATE, TO ALL LOT OWNERS, AND THEIR SUCCESSORS AND ASSIGNS IN PERPETUITY.

Landowners signatures

DALLAS CLEVERLEY

HEIDI CLEVERLEY

ACKNOWLEDGMENT

STATE OF _____ } S.S.
COUNTY OF _____

ON THE ____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, DALLAS CLEVERLEY AND HEIDI CLEVERLEY, THE SIGNERS OF THE FOREGOING CERTIFICATE WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

COMMISSION NUMBER

PRINTED FULL NAME OF NOTARY

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF EAGLE MOUNTAIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION PLAT AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC
THIS ____ DAY OF _____ AD 2023.

APPROVED BY MAYOR

APPROVED BY CITY ATTORNEY

APPROVED BY ENGINEER
(SEE SEAL BELOW)

ATTEST BY CITY RECORDER
(SEE SEAL BELOW)

PLAT "A" CLEVERLEY COURT SUBDIVISION

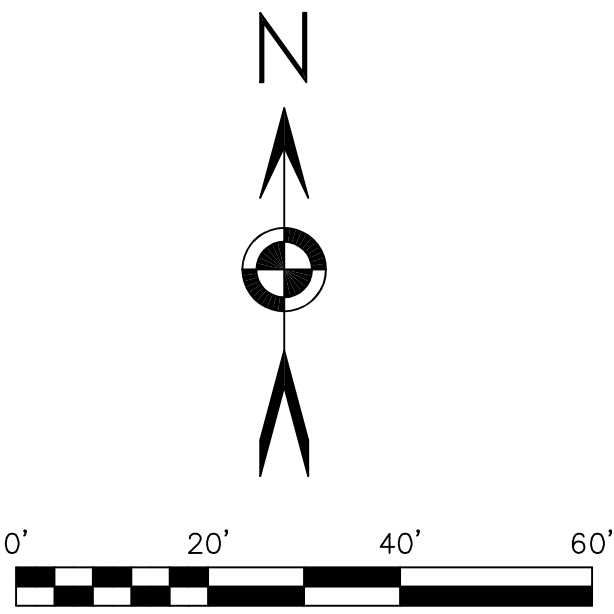
SECTION 7, TOWNSHIP 6 SOUTH, RANGE 1 WEST, S.L.B. & M.
EAGLE MOUNTAIN CITY, UTAH COUNTY, STATE OF UTAH
SCALE 1"= 20 FEET

SURVEYOR

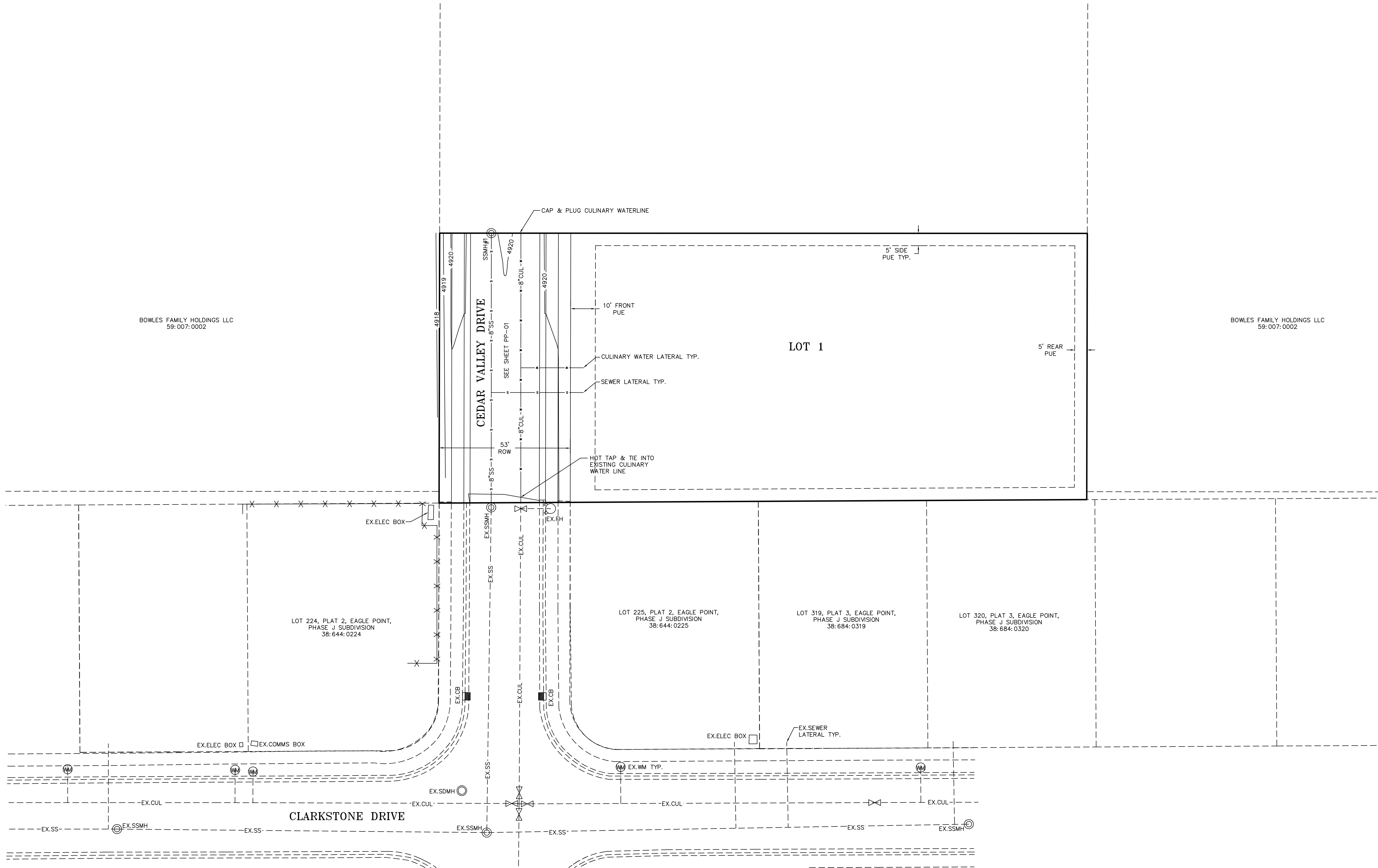
CLERK

COUNTY RECORDER

SOUTHEAST CORNER OF THE
SOUTHEAST QUARTER OF
SECTION 7, T6S, R1W, SLB&M



SCALE
1"=20'



REVISIONS

- | | | | |
|----|-------|----|-------|
| 1. | _____ | 4. | _____ |
| 2. | _____ | 5. | _____ |
| 3. | _____ | 6. | _____ |

PROJECT NO.: LE 4241 SURVEYOR/DIRECTOR: D. PENROD
DATE: MAY 2023 FIELD SURVEYOR: M. JACOBSEN
SCALE: 1" = 20' DRAWN: K. ROUNDY
REVISION: _____ CHECKED: B. LUDLOW

LUDLOW ENGINEERING & ASSOCIATES
Subdivisions * Boundary Surveys * City Lot Surveys * ALTA Surveys
Claim Surveys * Control Networks * Construction Surveys * Topography
Civil * Sewer & Water Design * Residential & Commercial Structure
Subdivision Design * Site Plans * Road Design
1451 South Main, Nephi, Utah 84648 (435) 623-0897 FAX (435) 623-2381

UTILITY PLAN

CLEVERLEY COURT SUBDIVISION
SECTION 7, T 6 S, R 1 W, SLB&M.
EAGLE MOUNTAIN, UTAH COUNTY, UTAH
MAY 2023

SHEET	4
C	
SHEETS	



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 25, 2023**

TITLE: ACTION ITEM -- PUBLIC HEARING: AMENDING SECTION 17.25.050 GENERALLY APPLICABLE PROVISIONS, AND 17.49.030 APPLICABILITY

ITEM TYPE: Development Code Amendment

APPLICANT: Todd Black

ACTION ITEM:

Yes

PUBLIC HEARING:

Yes

PREPARED BY:

Todd Black, Planning

BACKGROUND:

This was presented as a discussion item last month. In order to standardize wash setback language in EMMC and to avoid using verbiage such as "significant", the City consulted with a hydrological engineering firm analyze wash flow data, wash slope, and soil type, to generate a number that would likely prevent loss of property and lessen concern for human health and safety issues along the washes in the future. The result of this analysis suggests a setback distance of 75 feet. Their report was modeled based on high flow, 1-500 year storm, soil, and slope of wash.

ITEMS FOR CONSIDERATION:

Asking PC to make a motion to move forward the two places in code that need to be changed and standardized.

Recommend to change code to reflect a standard set back distance of 75' in the following places.

17.25.050 Development near natural washes must include significant setbacks from the edge of the wash to any structure.

Change to: Development near natural washes must be setback 75 feet from the edge of the wash to any structure.

17.49.030 Applicability

Natural Wash. When applying the overlay zone, any natural wash within the corridor should include a 50-foot area on both sides of the wash within the overlay zone.

Change to: When applying the overlay zone, any natural wash within the corridor should include a 75-foot area on both sides of the wash within the overlay zone.

REQUIRED FINDINGS:

See attached report from JWO Engineering (Wash Setback Eng Letter).

RECOMMENDATION:

Staff recommends the Planning Commission forward a positive recommendation to the City Council regarding the proposed amendments to EMMC to standardize the setback from washes at 75 feet.

ATTACHMENTS:

[Wash Setback Eng Letter](#)

[EMMC 17.25.050 and 17.49.030](#)



A Professional Limited Liability Company

1307 N Locust Lane
Provo, Utah 84604
801-828-7805

Todd Black
Wildlife Biologist-Env Planner
Eagle Mountain City
2565 N Pony Express Parkway
Eagle Mountain, UT 84005

Technical Memorandum – Wash Setback Recommendation

JWO Engineering, PLLC has been asked by Eagle Mountain City to evaluate the setback requirement for the West Canyon Wash, which crosses Six-Mile Cutoff Road (also known as 1180 East). Currently the development requirements are not well defined and the City would like to have a more defined expectation to help avoid erosion hazards for future development.

Various waterways were evaluated in multiple areas with similar conditions as the West Canyon Wash as well as the associated setback requirements. This evaluation took into consideration several factors including soil types, channel sizes, depth of channels, anticipated flows, side slopes, existing vegetation (or lack of vegetation) and erosion susceptibility. Based on the setback policies for other municipalities we studied we recommend that Eagle Mountain adopt a variable setback based on whether channel flow or channel depths is more critical and a small zone B buffer from this critical zone A setback. This will provide a uniform policy of addressing the erosion hazard of channels in the city.

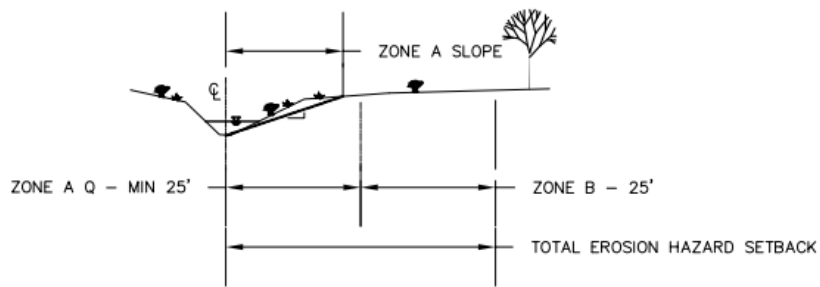
Recommendations

No building, or structure shall be permitted within the total Erosion Hazard Setback (EHS) distance of any waterway, measured perpendicular to the centerline of flow at any point along a property.

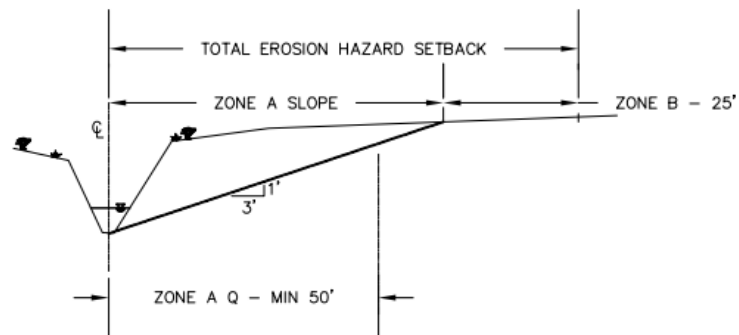
The total EHS will consist of a Zone A distance and a Zone B distance. Zone A is determined by the maximum value based on anticipated flow or slope ratio of 3:1 from the center of the waterway channel. Zone B is a distance of 25 feet. The anticipated flow is based on the Q_{100} for the given waterway and is divided into 3 ranges as shown in Table 1 below. Q_{100} is the flow anticipated in a storm event that has a 1% chance of being exceeded in any given year, some agencies have referred to this in the past as a 100-year storm event. See Figure 1 for examples below.

Table 1: Minimum Zone A Setback

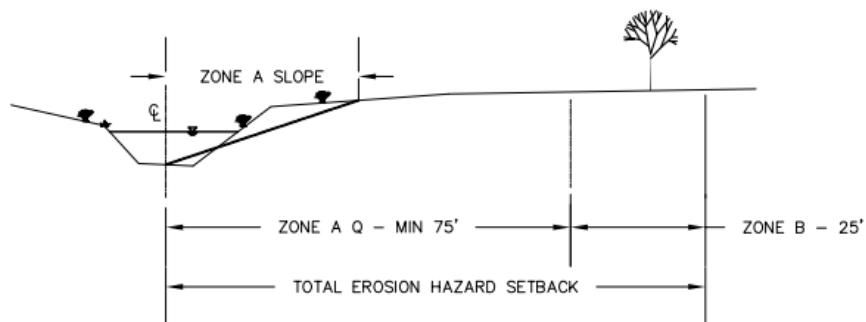
Q_{100}	Distance
<200 cfs	25 feet
200-1000 cfs	50 feet
>1000 cfs	75 feet



EXAMPLE A: $Q_{100} < 200$ CFS



EXAMPLE B: Q_{100} 200-1000 CFS



EXAMPLE C: $Q_{100} > 1000$ CFS

Figure 1 - Examples



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801-828-7805

In addition to the Erosion Hazard Setback, slope stabilization or armoring is required for the waterway to minimize additional erosion over time. Slope stabilization plans shall be submitted for approval by the City. Plans for a given property shall include a site plan depicting slope stabilization improvements. Any maintenance of slope stabilization, or permits required for slope stabilization will be at the expense of the owner of the property.

Reduced setbacks or waiver of slope stabilization may be considered at the discretion of the City engineer only upon the landowner submitting to the City a detailed engineering study performed by a state-registered professional civil engineer for review and approval. This study shall be at the expense of the property owner and does not guarantee a reduction or waiver.

The below code references are simply for informational purposes that may help with a discussion about the meaning of “significant setbacks”.

17.25.050 Generally Applicable Provisions

G. Hillside Development and Sensitive Lands. No construction, development, or earthwork may occur on land restricted by utility corridors, natural washes, storm drain retention/detention areas, geologically sensitive areas that require special engineering considerations for safe habitation, and steep slopes, unless in full compliance with Chapters 15.80 and 17.62 EMMC, other applicable city codes, and approved by the approval authority for preliminary plats. Development projects that include hillsides, ridgelines, or retaining walls must comply with the standards in Chapters 15.80 and 17.62 EMMC. Development near natural washes must include ~~significant~~ a setbacks distance of 75-feet from the edge of the wash to any structure. Utility corridors shall be preserved and deeded to the city whenever possible for trails and open space corridors. Lots in the RA1 and RA2 zones shall include a buildable footprint of at least 20,000 square feet, which generally includes enough area for a home, two accessory buildings (garages or animals), and a horse corral. Lots in the RD1 zone shall include a buildable footprint of at least 15,000 square feet.

17.49.030 Applicability

C. Natural Wash. When applying the overlay zone, any natural wash within the corridor should include a ~~50-~~75-foot area on both sides of the wash within the overlay zone. This additional area is measured from the top of the bank of the natural wash. This adds a buffer to minimize erosion; stabilize the wash banks; prevent pollution; protect sensitive animals, plants, and riparian habitat; and protect property owners from building on highly collapsible soil. [Ord. O-06-2021 § 2 (Exh. A)]



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 25, 2023**

TITLE: ACTION ITEM -- PUBLIC HEARING: SITE PLAN APPROVAL
OF A TO Z BUILDING BLOCKS ADDITION

ITEM TYPE: Site Plan

APPLICANT: Jody Zabriskie, owner of A to Z Building Blocks

ACTION ITEM:

Yes

PUBLIC HEARING:

Yes

PREPARED BY:

Steven Lehmitz, Planning

BACKGROUND:

On July 6, 2021, the Eagle Mountain City Council approved the Site Plan for an addition to the existing A to Z Building Blocks day care center. This approval expired after one year, as the project failed to obtain a building permit (EMMC 17.100.090). The applicant resubmitted the project within the allotted two year time frame, and is substantially similar to the expired plan. The resubmitted project is to be reviewed under the current development code.

This item was on the July 11, 2023 Planning Commission agenda for review and recommendation. However, it was tabled due to not having all required materials submitted. Everything has now been submitted and reviewed by Staff prior to this meeting.

The applicant is proposing a 3,268 square foot addition to their current building (4,990 sq. ft.). The lot (0.69 acre) is platted as lot 2 of Parkway Crossroads Plat A First Amendment, recorded in December 2020. New landscaping totals 1,514 square feet and is comprised of trees, shrubs, grasses, flowers, sod, and stone. The proposed addition will have a height of 33' at the tallest points.

ITEMS FOR CONSIDERATION:

This proposal is to increase the size of the existing A to Z Building Blocks location and to relocate the playground. A to Z is located within the Parkway Crossroads development, which is zoned Village Core, a previous zoning district in the City. The future land use designation for this property is Community Commercial. Child Day Care Centers or Preschools are permitted uses in all commercial zones.

EMMC 17.100.050 Site Plan Development Standards. The following are standards required for all site plans in any zoning district:

A. Use of Property: The entire parcel is to be built, landscaped, or paved, thus the proposal complies with 17.100.050.A.

B. Screening Requirements: The project is located within a commercial district, and does not abut any agriculture or residential property, therefore it complies with 17.100.050.B.

C. Access Requirements: The site is accessed via Ranches Parkway.

D. Off-Street Truck Loading Space: This use does not require the frequent distribution of materials via and therefore does not provide off-street truck loading space.

E. Utilities: All utilities are shown as being underground and in proper easements in compliance with 17.100.050.E.

F. Grading and Drainage: Grading and Drainage plans have been reviewed by staff with a few redlines to be addressed.

Commercial Design Standards. The following are design standards for the site and building design of commercial developments:

17.72.030.A The current A to Z Building Blocks location does not orient toward the public street or sidewalk. The primary entrance to the building is not altered by this development, however, pedestrian access will be provided from the public sidewalk to the primary entrance. The proposal meets this standard.

17.72.030.A.1 The proposed addition will have a door that opens onto Ranches Parkway, which will include a column and a covering, resembling the primary entrance. With the addition of the covering, and the addressing of Staff comments, it is the opinion of staff that the proposed southwest elevation adjacent to Ranches Parkway meets Code.

17.72.030.B requires parking to be located to the side or rear of buildings, and not between any commercial building and the street.

A to Z currently has parking between the building and Ranches Parkway, the proposed addition would bring the building closer to Ranches Parkway and would move the building slightly closer to the road than the existing parking. As the proposal doesn't add any parking to the parking lot and brings the building closer to the road it is the opinion of staff that the proposal complies with this provision.

Architectural Standards. The following architectural elements shall be applied to commercial development. Minor variations to these

standards may be considered.

(Note: Staff has not been provided with a materials schedule providing details about the materials being used on the addition. The information about materials below is inferred from the provided elevation plans.)

17.72.040.A requires that commercial buildings be similar in style to adjacent buildings, and that all facades of the building be designed with consistent architectural style, detail, and trim features as the primary façade. Staff feels that some of the addition's materials and colors are similar to the current building, though the proposed flat roof line and lack of articulation does not match. It is on the Planning Commission to determine if the proposed elevations comply with this standard.

17.72.040.B requires the main entrance of a building to orient to major sidewalks and be clearly identifiable. The main entrance to A to Z is currently existing. This proposal doesn't alter the location or architecture of the main entrance.

17.72.040.C states, "The primary roof form of a structure should help reduce the perceived scale of the building. All commercial buildings shall contain either sloping roofs with overhanging eaves, or a decorative parapet and multiple roof planes and heights..." The current building has a sloping roof while the proposed addition contains a flat roof. The addition is also considerably taller. A parapet is included on the proposed addition. The Planning Commission should decide if the parapet needs to be more decorative, or a sloping roof with overhanging eaves should be used to bring the proposal into compliance and better match the existing structure.

17.72.040.D states, "Vertical and horizontal articulation and relief reduces the perceived scale of buildings. Buildings shall include façade modulation (stepping portions of the façade), horizontal and vertical divisions (textures or materials), window patterns, offsets, recesses, projections, varied front setbacks or staggered and jogged unit planes within the same structure, and other techniques to help identify individual residential units in a multifamily structure, and to avoid large, featureless and/or panelized surfaces on commercial buildings. Large uninterrupted expanses of a building wall are prohibited." The proposed addition is using shiplap siding and natural stone to match the current building, though more stone and less siding is proposed. EIFS is also proposed for the addition and is not a material used on the existing building. Only the southwest elevation has a staggered plane. Though the materials somewhat match the existing building, it is the opinion of staff that there are still many

areas on the addition where the walls are not properly articulated.

17.72.040.E.1 states, "Commercial buildings shall incorporate a majority of the following architectural details: reveals, canopies, awnings, popouts, columns, decorative trim and moldings, architectural lighting, ornamental cornices, decorative masonry pattern, decorative doors and windows, exposed timbers, and trellis structures. All sides of a building shall include the chosen details."

The proposed elevations include windows, trim, decorative masonry, a column and covering over the southwest door, and the use of awnings on the southeast elevation. It is the opinion of staff that while the proposal doesn't provide all the features called for by Code, it matches the existing building's color and materials. The Planning Commission may decide if they are okay with the awnings on the southeast elevation or if they want to see the same columned coverings as the southwest side.

17.72.040.F.2 "All commercial buildings shall avoid large panelized products or featureless surfaces. Commercial buildings shall utilize an appropriate mixture of building materials on all sides including brick, rock, fiber/cement siding, wood, glass, stucco and colored CMU. Stucco may not be use on more than 50 percent of a building."

The proposed elevations utilizes siding, awnings, stone, and sheltering elements over doors. The Planning Commission should determine if an appropriate mixture of building materials are being used for the proposed addition.

17.72.040.G states, "Buildings should not be restricted to using desert landscape colors, such as beige, tan, grays, browns, etc. A wide palette of colors is recommended, excluding any neon, ultra-bright, or reflective colors. A building's color palette should be similar to that of significant neighboring structures." It is the opinion of Staff that even though the proposed addition uses desert landscape colors, it does match the color palette of many neighboring structures, including the existing building.

17.72.040.I requires that all lighting shall be directed downwards and be full-cutoff. The proposed lighting for the addition meets this standard. No parking lot lighting is proposed.

17.72.040.K requires that all mechanical equipment be screened from view of a public or private street. The most recent elevation submission shows the mechanical equipment on the roof being properly screened behind parapets.

Parking

Per 17.55.120.C Child Day Care Centers/Preschools require 1

parking stall per staff member plus 1 stall per 10 children. The applicant has indicated they will have 20 staff members and will serve up to 190 children, therefore 39 parking stalls are required. The project currently provides 17 parking stalls. They are proposing to utilize an additional 22 shared parking spaces from the Parkway Crossroads development to meet their parking requirements. The additional parking stalls will come from the following locations: 12 from Lot 2, 4 from Lots 3 and 4, and 6 from Lot 6.

17.55.100 states, "Up to 50 percent of the required parking may be shared with other required parking areas upon approval by the Planning Commission. The developer [applicant] must show an agreement granting shared parking or mutual access to the entire parking lot in perpetuity, as well as a professional traffic engineer's data showing that peak parking demand of all uses will not exceed parking spaces." The applicant is proposing more than 50 percent of their required parking being shared with other required parking areas. They have provided an agreement for the shared parking, but have not provided data from a professional traffic engineer. The Planning Commission should determine if the applicant's proposed parking plan is acceptable with City standards.

Bike Racks

The current site does not have a bike rack. The applicant is not proposing any bike racks to be in compliance with 17.35.050.K.

Landscaping

The landscaping plan has been reviewed and redline comments provided. The applicant has not had the chance to address those comments yet.

REQUIRED FINDINGS:

Site Plan approvals are based upon compliance with EMMC 17.100 and any other applicable standards.

RECOMMENDATION:

Staff recommends the Planning Commission consider the proposed site plan as it relates to applicable EMMC requirements and forward a positive recommendation to the City Council with the following conditions and any other conditions deemed appropriate:

1. The southwest elevation, adjacent to Ranches Parkway, shall

have increased architectural elements, including two columns instead of just one and timbers on the covering.

2. A schedule detailing the materials being used on the addition is provided to Staff.
3. The parapet is made more decorative.
4. Building elevations shall show increased articulation (structure) to meet City Code.
5. Architectural details are provided on all sides of the proposed addition (i.e. columns and timbers over the doors on the southeast elevation).
6. If the proposed shared parking is approved, then data from a professional traffic engineer shall be provided to Staff.
7. A bike rack is included on the new Site Plan.
8. All outstanding redlines on the submitted plans are resolved with Staff.

ATTACHMENTS:

[Civil and Site - A to Z](#)

[Elevations - A to Z](#)

[Parking Diagram - A to Z](#)

[3D Elevations - A to Z](#)

[Parking Lease Agreement - A to Z](#)

[Shared Parking Table - A to Z](#)

[Landscape - A to Z](#)

[Photometric Plan - A to Z](#)

[Lighting Schedule - A to Z](#)

[Snow Removal - A to Z](#)

DDeVoogd/UFA 7/12/23 - No Comments

RBallif 7/12/23 no comments

DPayne 7/13/2023- Comments

CTrusty 7/13/23- No Comments

M BAHR 7-18-23
NO COMMENTS

S. Lehnitz reviewed 07/19/2023 - Comments

A TO Z BUILDING BLOCKS

3563 RANCHES PARKWAY
LOCATED IN THE NW 1/4 OF SECTION 29, T.5S., R.1W., S.L.B.&M.
EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH

VICINITY MAP



SCALE: 1"=1000'

CIVIL DRAWING INDEX

SHEET	TITLE
C100	COVER & INDEX
C101	NOTES & LEGEND
C300	DEMOLITION PLAN
C400	SITE PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C900	SITE DETAILS
C910	UTILITY DETAILS
EC100	EROSION CONTROL PLAN

GENERAL NOTES

- 1) ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.
- 2) ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.
- 3) THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.
- 4) THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.
- 5) THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH, THIS INFORMATION MAY NOT BE COMPLETE, UP-TO-DATE, OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.
- 6) THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.
- 7) CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.
- 8) IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND THEY SHALL ASSUME SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED.

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ELEVATION 4846.65

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Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com

REGISTERED PROFESSIONAL ENGINEER
No. 375153
Leland K. Martineau
6-30-23
STATE OF UTAH

DEVELOPER

A TO Z BUILDING BLOCKS
3563 RANCHES PARKWAY
EAGLE MOUNTAIN, UT 84005
PHONE: 801-516-3138

A TO Z BUILDING BLOCKS

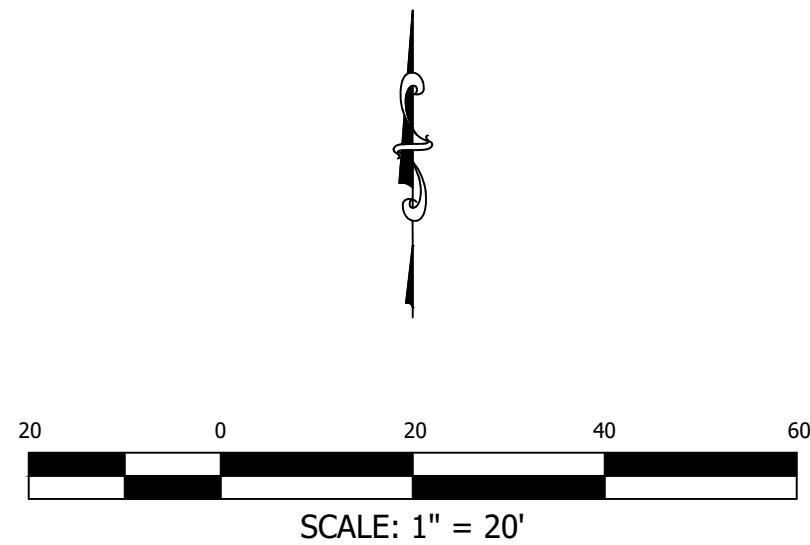
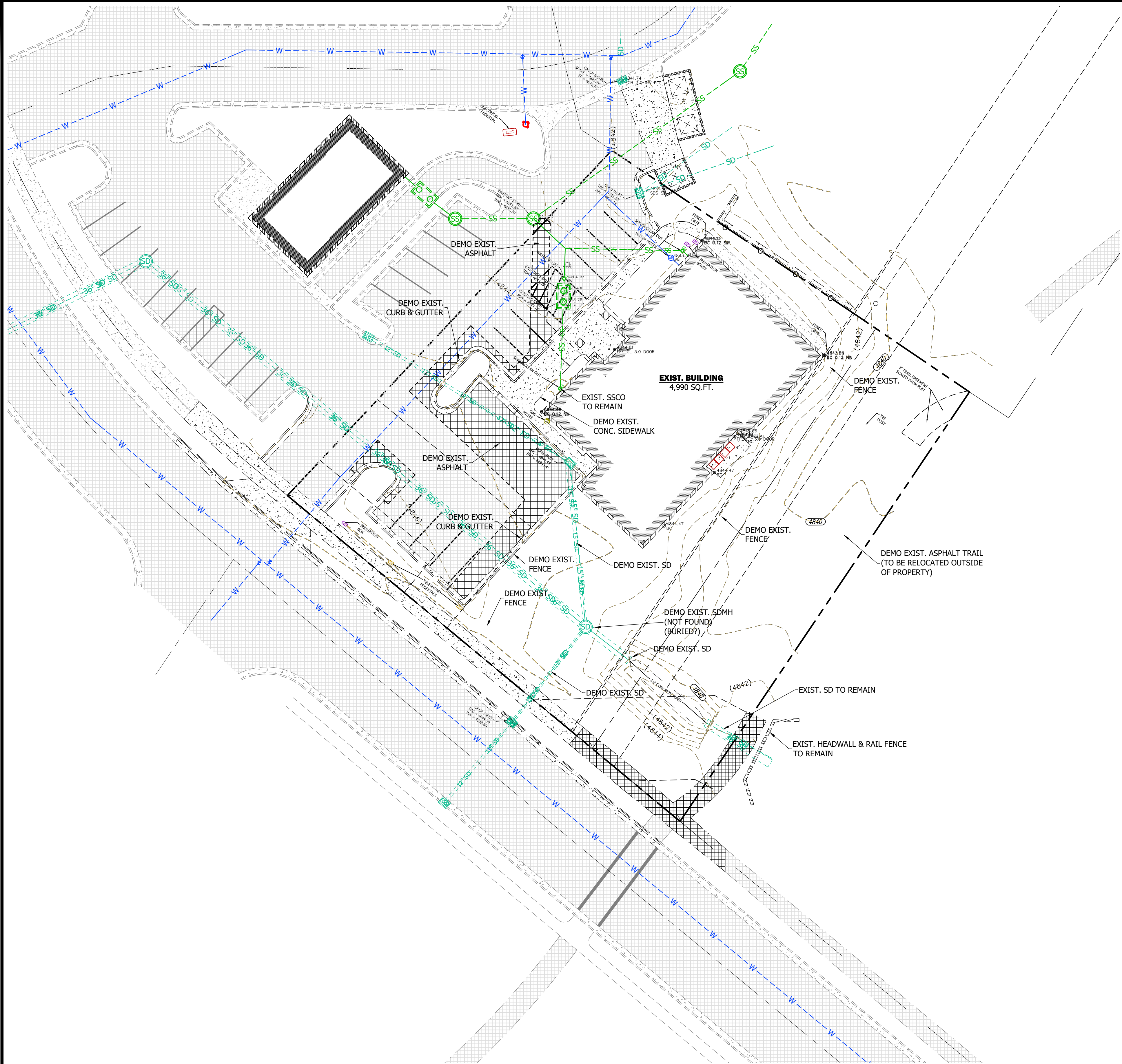
3563 RANCHES PARKWAY
LOCATED IN THE NW 1/4 OF SECTION 29, T.5S., R.1W., S.L.B.&M.
EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH

REVISIONS

DRAWN: JH	2021-05-24
APPROVED: LKM	
PROJECT #:	1794008
SITE 1794008.dwg	

C100

COVER & INDEX



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REVISIONS

DRAWN: JH 2021-05-24
APPROVED: LKM
PROJECT #: 1794008
SITE 1794008.dwg

C300
DEMOLITION PLAN

A TO Z BUILDING BLOCKS

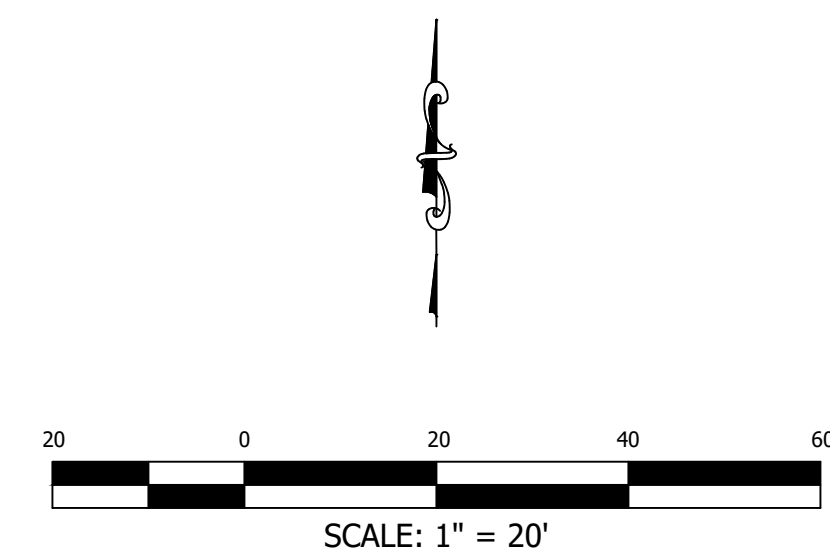
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DEVELOPER

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33563 RANCHES PARKWAY
EAGLE MOUNTAIN, UT 84005
PHONE: 801-516-3138

A TO Z BUILDING BLOCKS

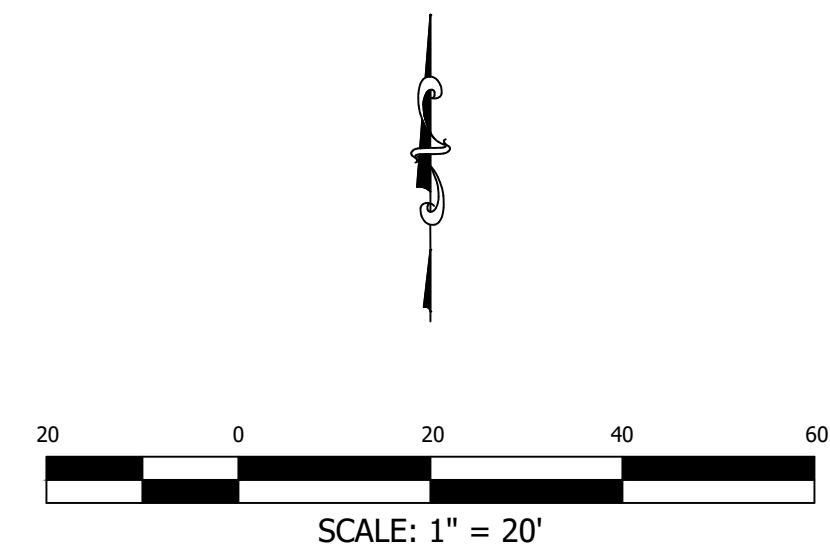
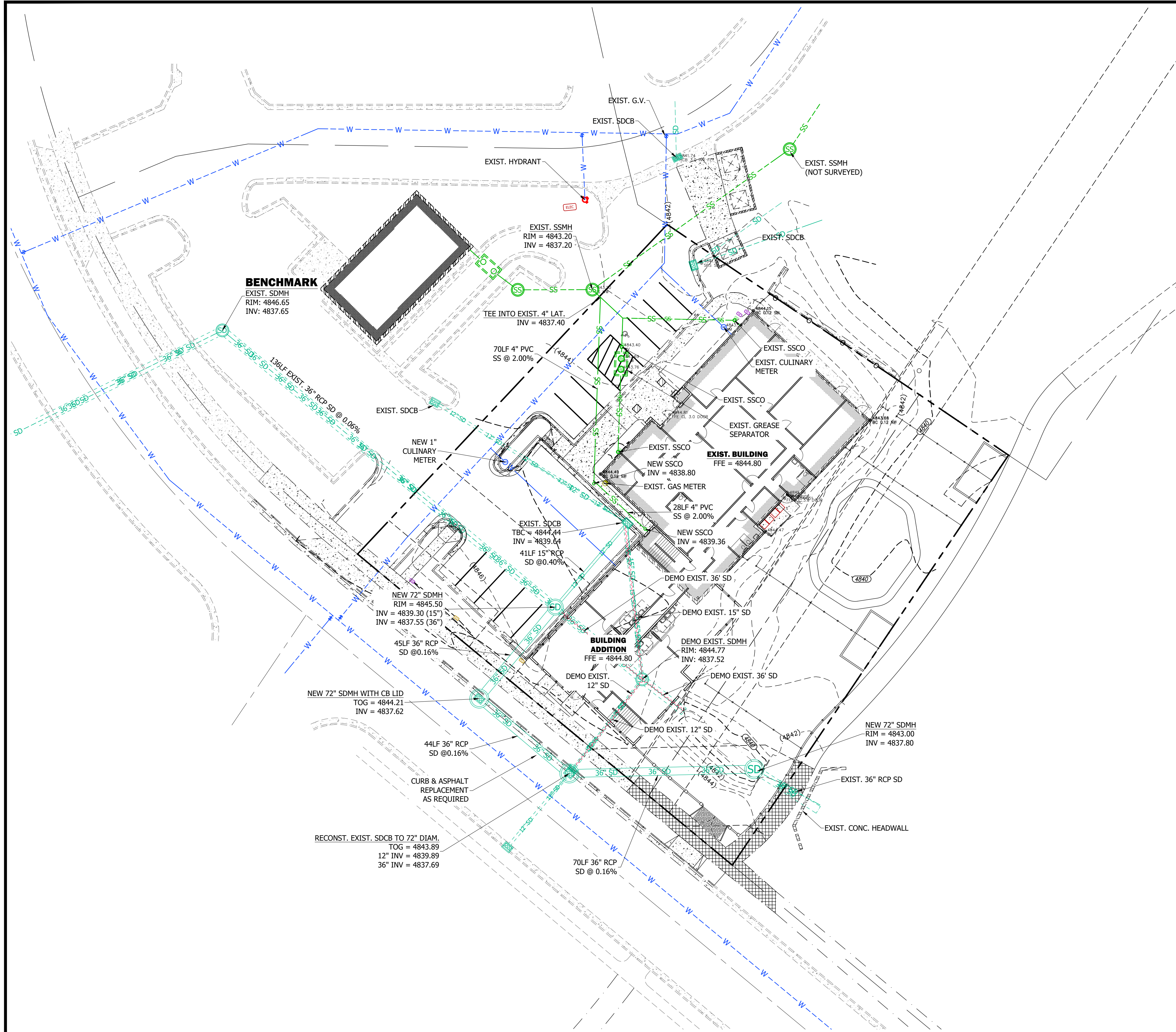
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REVISIONS

DRAWN: JH	2021-05-24
APPROVED:	LKM
PROJECT #:	1794008
SITE 1794008.dwg	

C500

GRADING PLAN



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Entellus

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LOCATED IN THE NW 1/4 OF SECTION 29, T.5S., R.1W., S.L.B.&M.
EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH

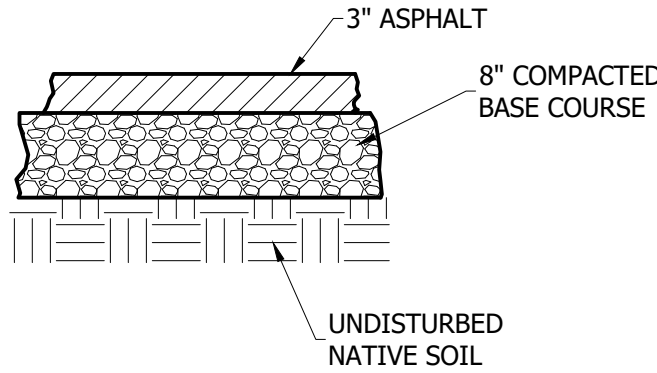
REVISIONS	

DRAWN: JH	2021-05-24
APPROVED: LKM	
PROJECT #:	1794008
SITE 1794008.dwg	

C600
UTILITY PLAN

h:\1794008\ld_production\Civil04_Plan_Sets\SITE 1794008.dwg 2023-06-30 9:39:42 PM LELAND MARTINEAU

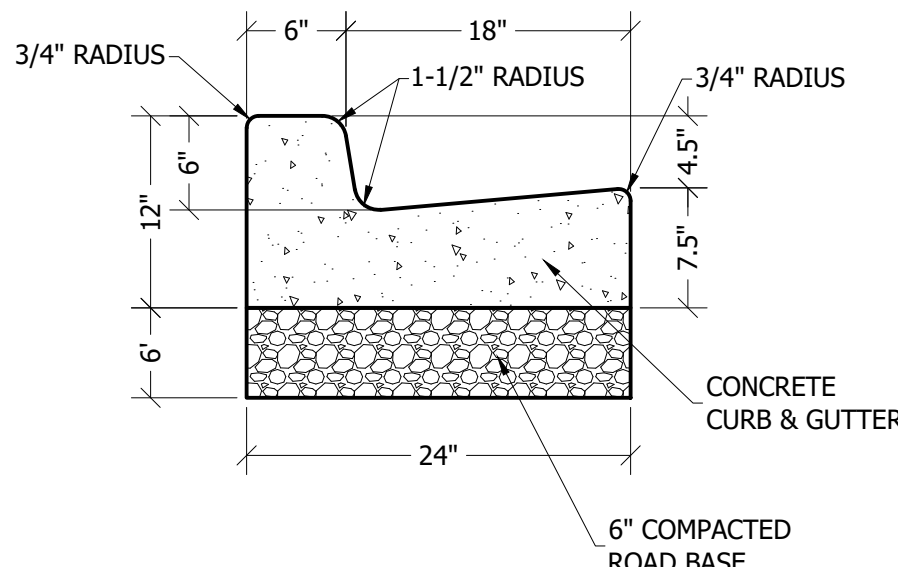
- NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. PLACE MATERIAL PER APWA SECTION 32 05 10.



PRIVATE ASPHALT SECTION

C-1
C400 TYPICAL
N.T.S.

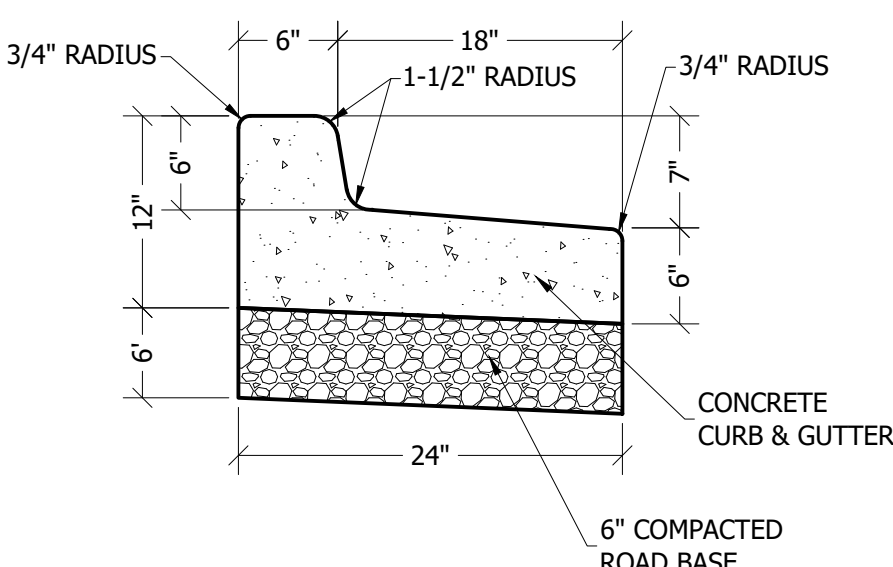
- NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. CONCRETE IS TO BE 4,000 PSI TEST.
 3. CONTROL JOINTS AT 10' INTERVALS.
 4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



PRIVATE 24" CATCH CURB & GUTTER

C-2
C400 TYPICAL
N.T.S.

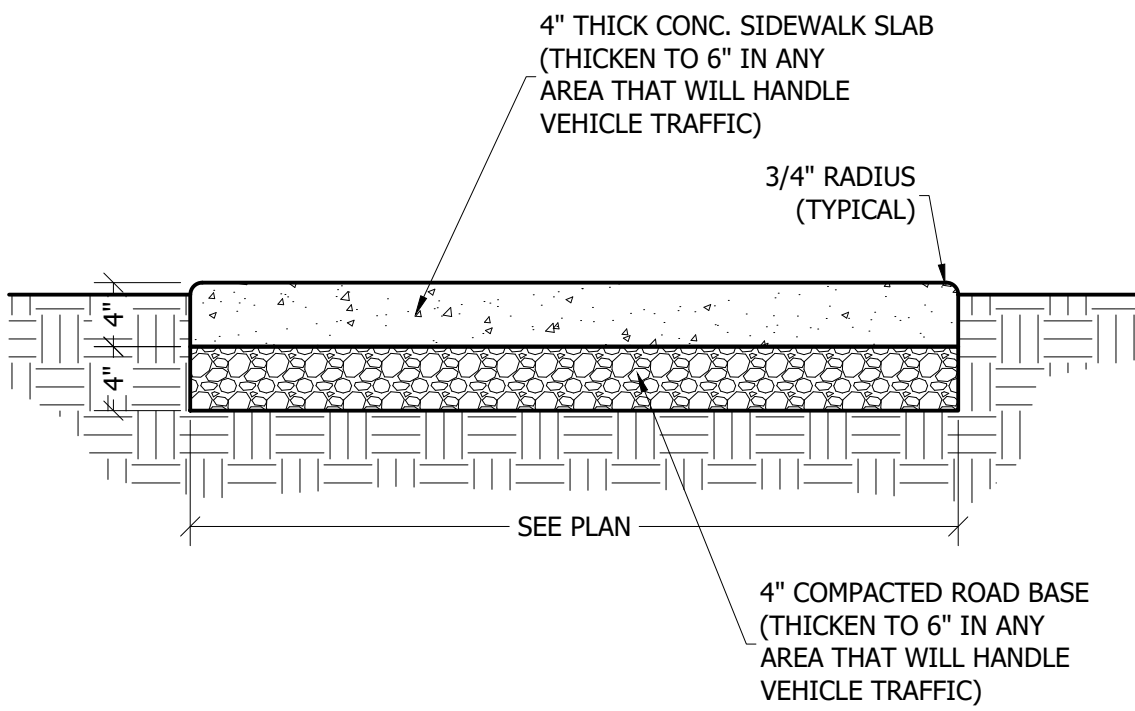
- NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. CONCRETE IS TO BE 4,000 PSI TEST.
 3. CONTROL JOINTS AT 10' INTERVALS.
 4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



PRIVATE 24" RELEASE CURB & GUTTER

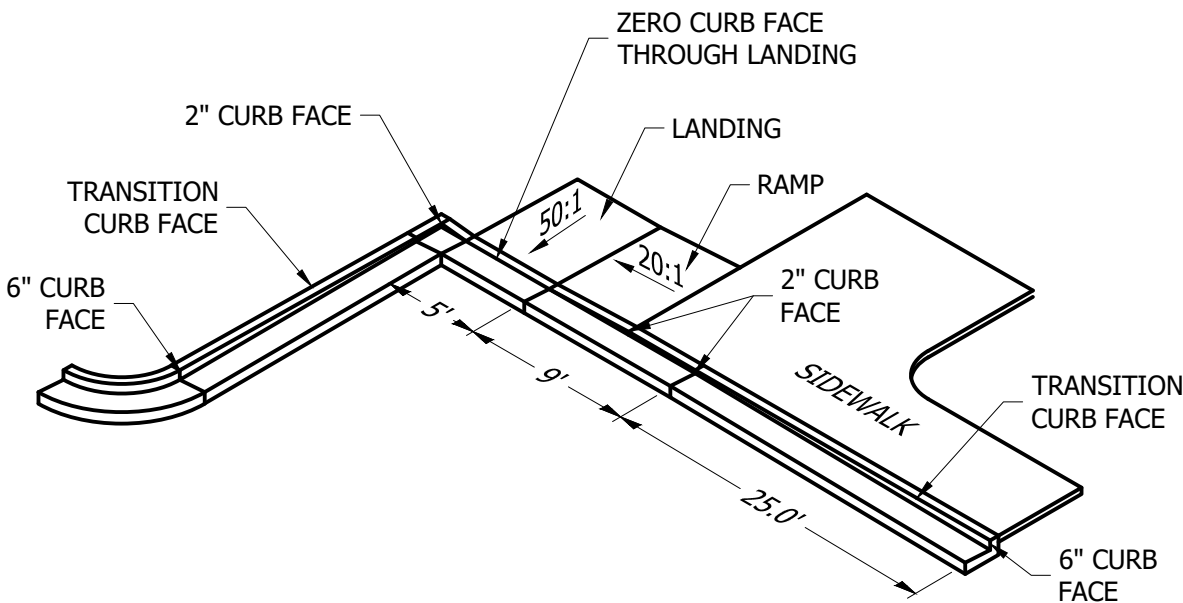
C-3
C400 TYPICAL
N.T.S.

- NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. CONCRETE IS TO BE 4,000 PSI TEST.
 3. CONTROL JOINTS AT 5' INTERVALS.
 4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



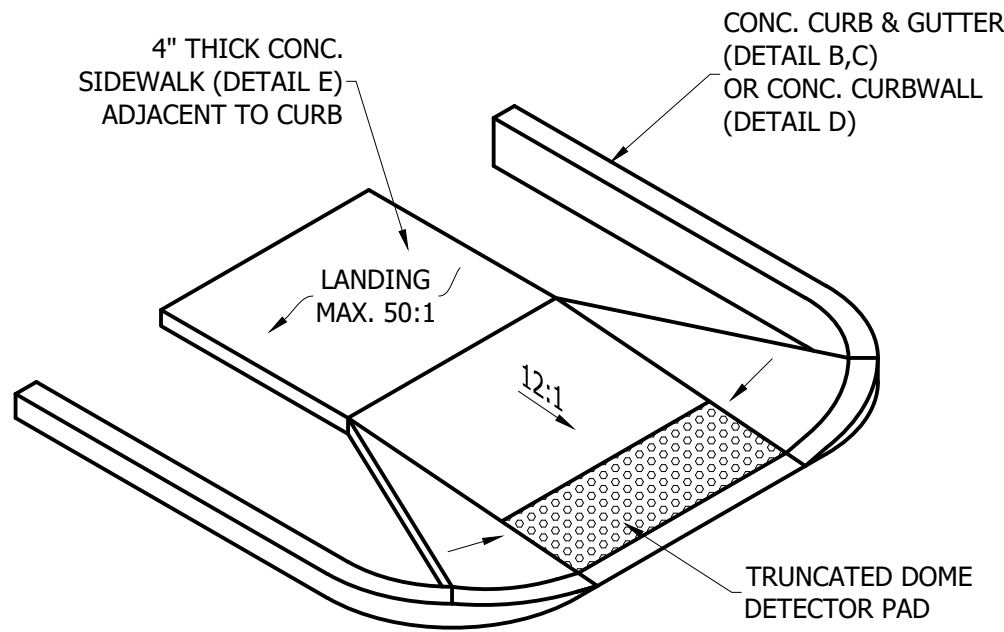
PRIVATE CONCRETE SIDEWALK

C-4
C400 TYPICAL
N.T.S.



ADA ACCESSIBLE RAMP

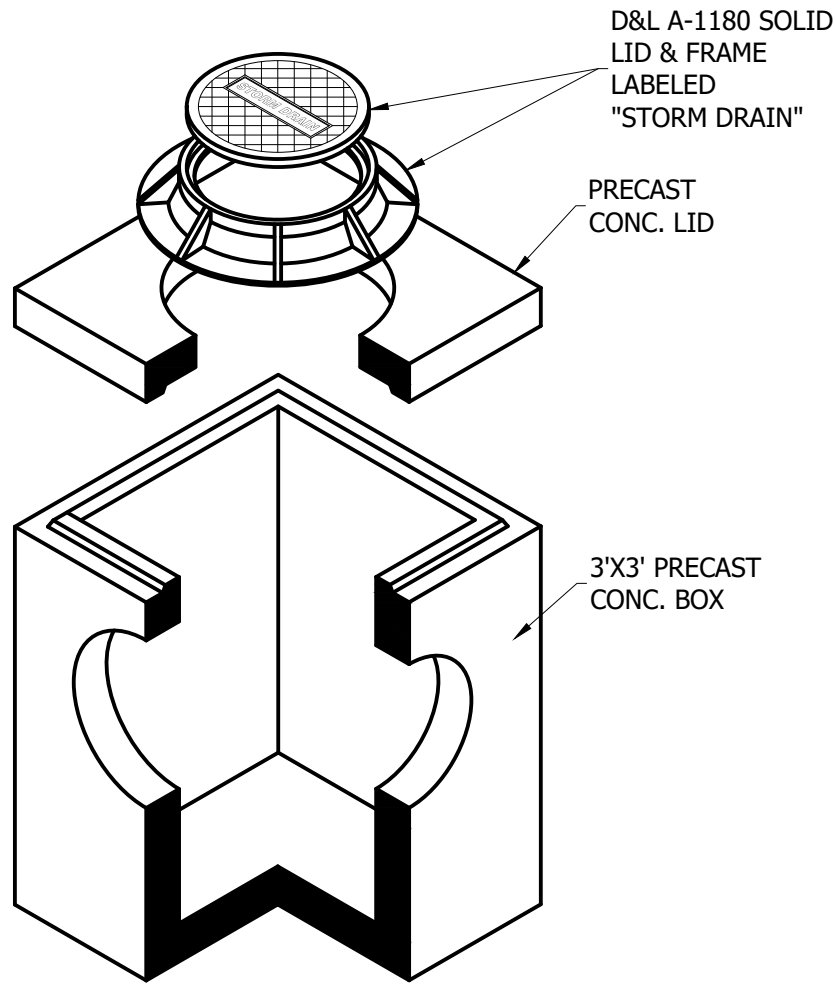
A-1
C400 TYPICAL
N.T.S.



ADA ACCESSIBLE RAMP

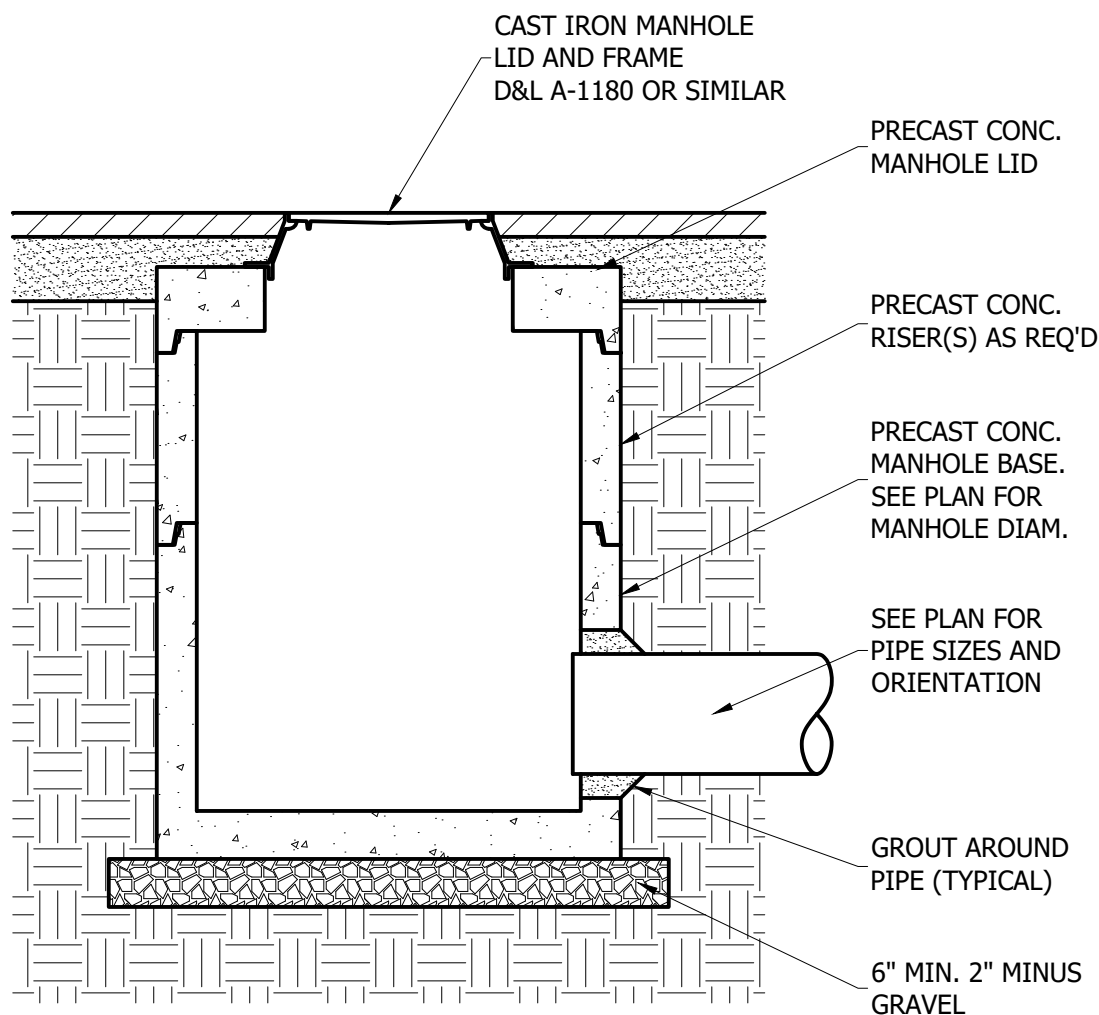
A-2
C400 TYPICAL
N.T.S.

h:\1794008\ld_production\Civil\04_Plan Set\SITE 1794008.dwg 2023-06-30 9:39:42 PM LELAND MARTINEAU



**PRIVATE STORM DRAIN
3'X3' CLEANOUT**

SD-1
C600 TYPICAL
N.T.S.



**PRIVATE FLAT LID
STORM DRAIN MANHOLE**

SD-2
C600 TYPICAL
N.T.S.

A TO Z BUILDING BLOCKS

3563 RANCHES PARKWAY
LOCATED IN THE NW 1/4 OF SECTION 29, T.5S., R.1W., S.L.B.&M.
EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH

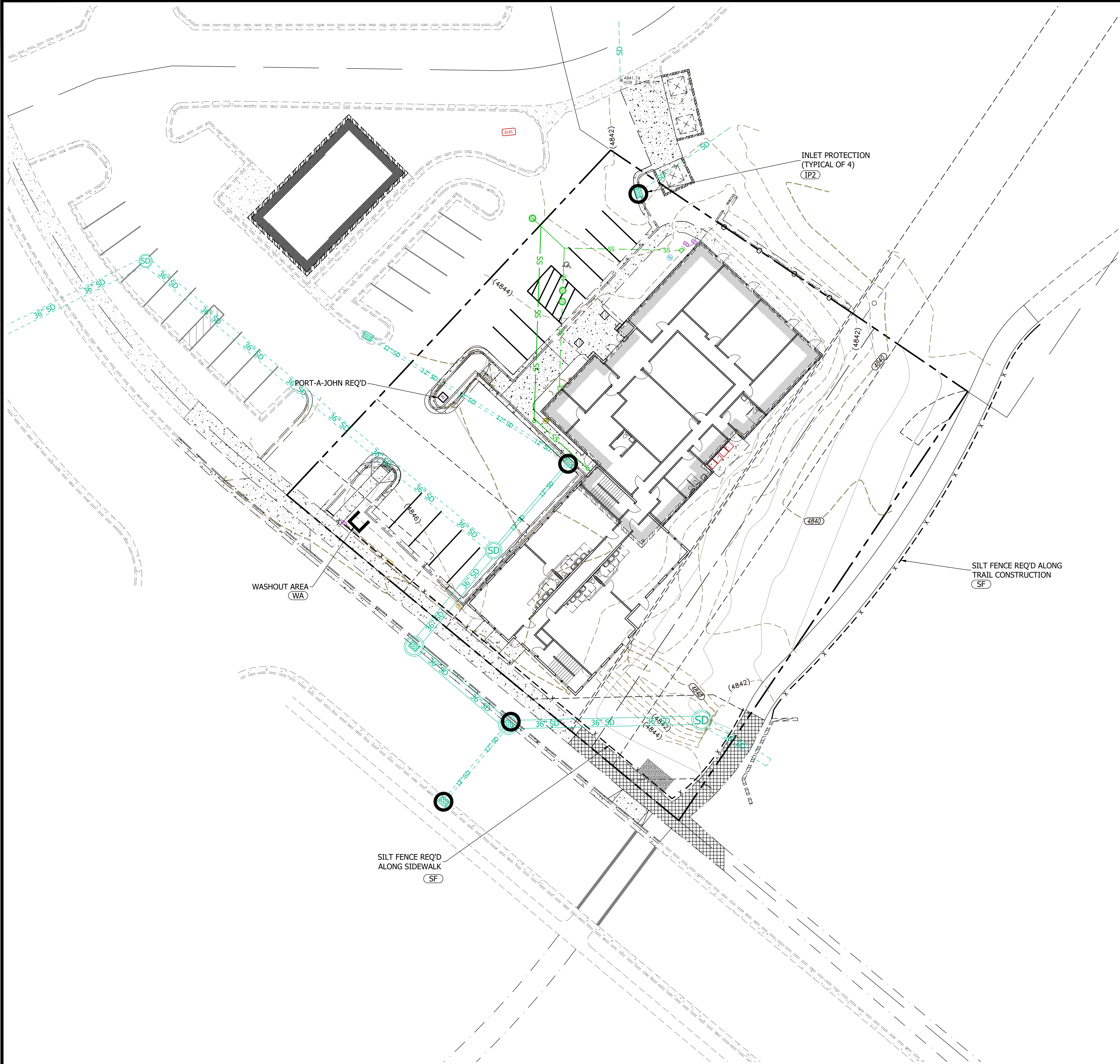
REVISION	REVISIONS	DATE

DRAWN:
APPROVED: 2023-06-30
DATE: LKM 2023-06-30
PROJECT #: 1794008
SITE 1794008.dwg

C910
UTILITY DETAILS



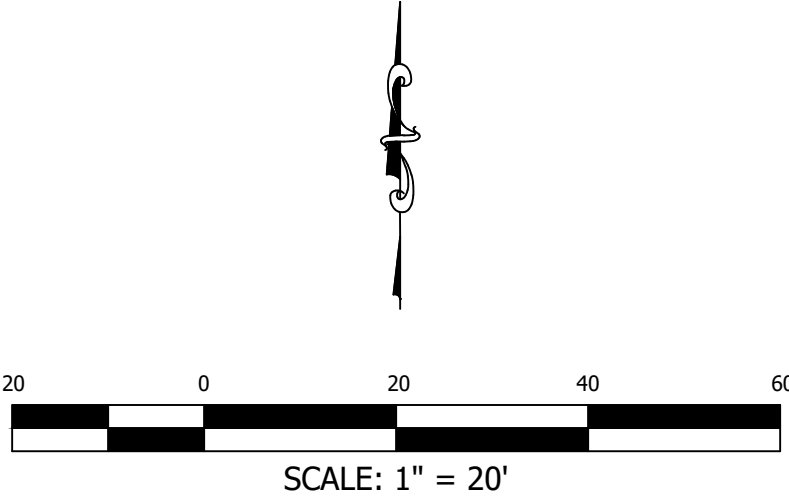
1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com
Entellus



Storm water inlet BMP to meet or exceed ASTM D8057 as per Eagle Mountain City code 15.50.070

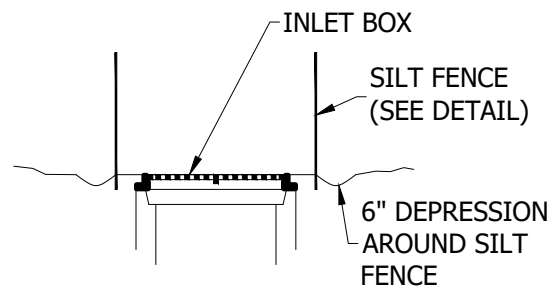
Concrete washout to be a pit lined with a solid sheet of impervious sheeting or a solid sided container.

DWQ 2020 CGP- 4.2.1. At least once every seven (7) calendar days; or 4.2.2. Once every 14 calendar days and within 24 hours of the occurrence of a storm event of 0.50 inches or greater, or the occurrence of runoff from snow melt sufficient to cause a discharge.

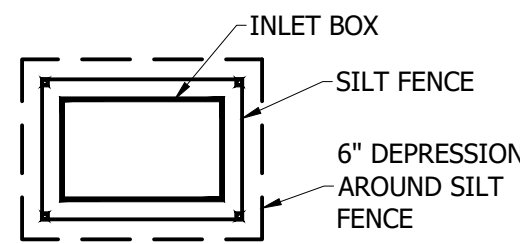


CONSTRUCTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.
2. CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.
3. CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.
4. CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.
5. ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.
6. ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.
7. A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.
8. A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE EXCESS DIRT.
9. INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROJECT WARRANTS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.
11. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.

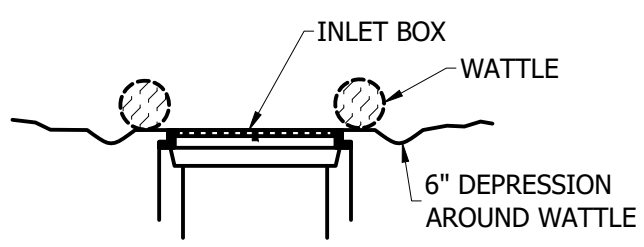


PROFILE VIEW

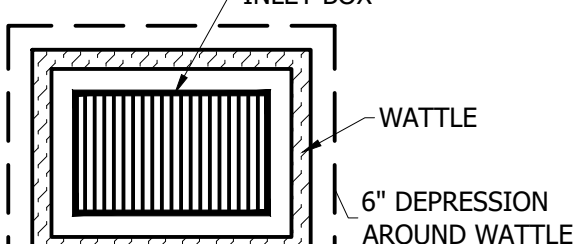


PLAN VIEW

IP1 INLET PROTECTION
EC100 TYPICAL
N.T.S.

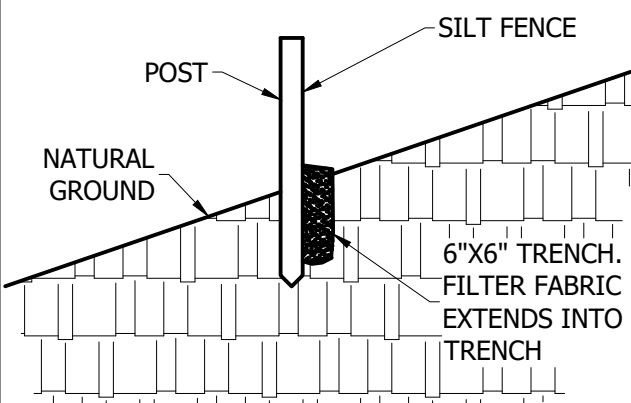


PROFILE VIEW

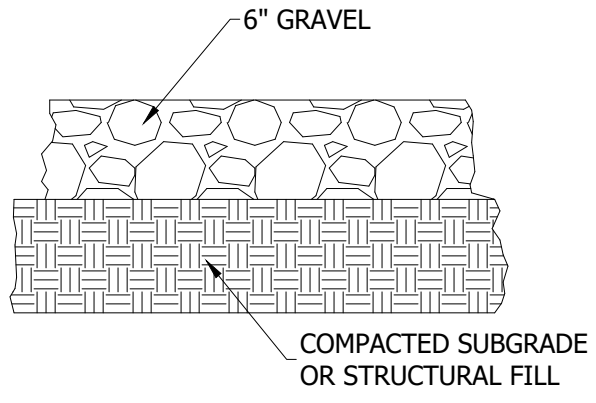


PLAN VIEW

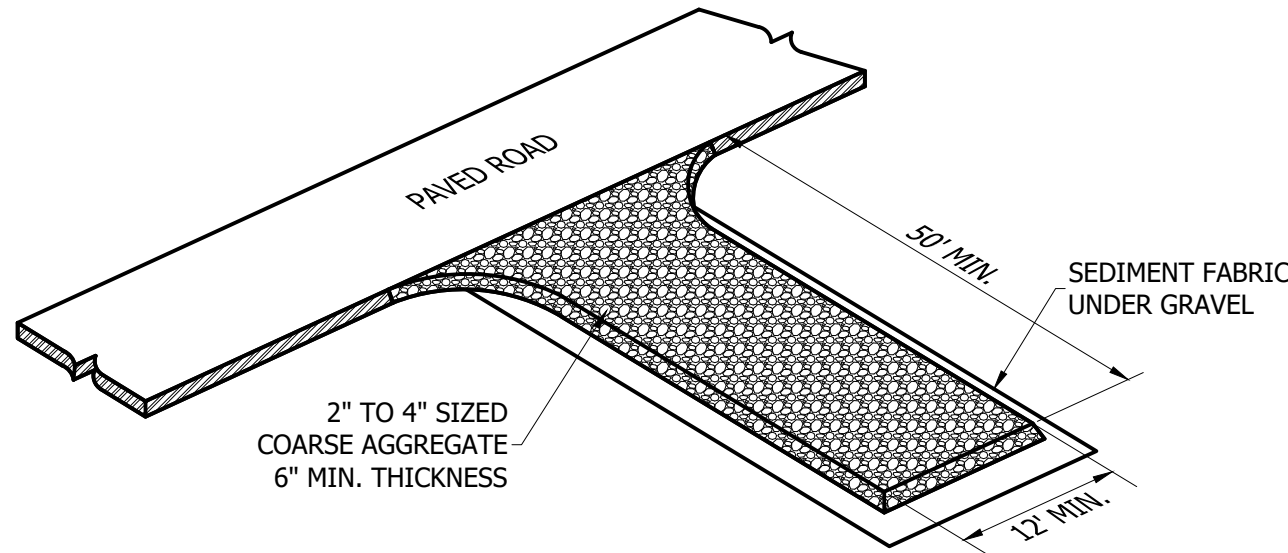
IP2 INLET PROTECTION
EC100 TYPICAL
N.T.S.



SF SILT FENCE
EC100 TYPICAL
N.T.S.



WA WASHDOWN AREA
EC100 TYPICAL
N.T.S.



SCE STABILIZED CONSTRUCTION ENTRANCE
EC100 TYPICAL
N.T.S.

DEVELOPER

A TO Z BUILDING BLOCKS
3563 RANCHES PARKWAY
EAGLE MOUNTAIN, UT 84005
PHONE: 801-516-3138

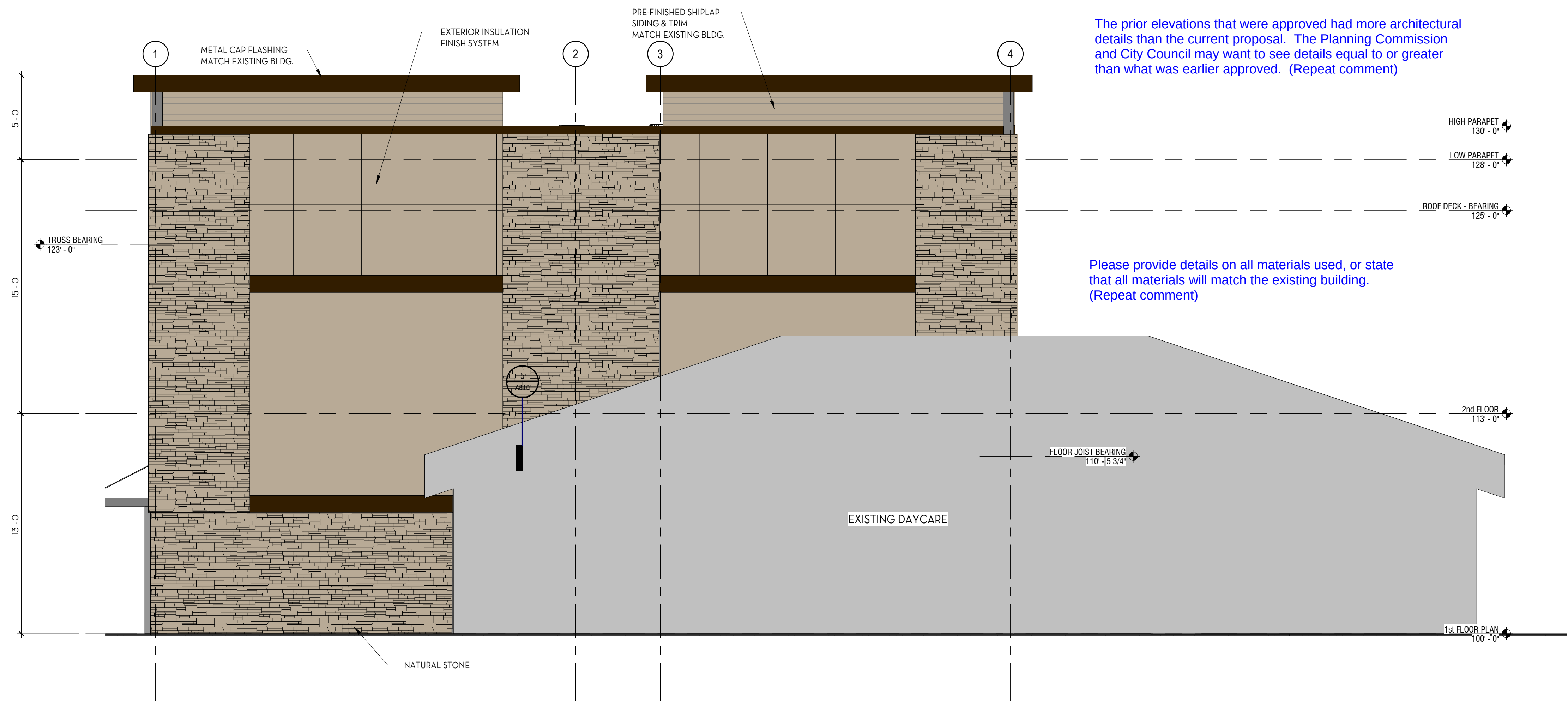
A TO Z BUILDING BLOCKS

3563 RANCHES PARKWAY
LOCATED IN THE NW 1/4 OF SECTION 29, T.35S., R.1W., S.L.B.&M.
EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH

REVISIONS

DRAWN: JH 2021-05-24
APPROVED: LKM
PROJECT #: 1794008
SITE 1794008.dwg

EC100
EROSION CONTROL PLAN



1
A201 1/4" = 1'-0"

NORTHEAST ELEVATION

The prior elevations that were approved had more architectural details than the current proposal. The Planning Commission and City Council may want to see details equal to or greater than what was earlier approved. (Repeat comment)

Please provide details on all materials used, or state that all materials will match the existing building. (Repeat comment)



EMMC 17.72.040 D. Building Articulation. Vertical and horizontal articulation and relief reduces the perceived scale of buildings. Buildings shall include facade modulation (stepping portions of the facade), horizontal and vertical divisions (textures or materials), window patterns, offsets, recesses, projections, varied front setbacks or staggered and jogged unit planes within the same structure, and other techniques to help identify individual residential units in a multifamily structure, and to avoid large, featureless and/or paneled surfaces on commercial buildings. Large uninterrupted expanses of a building wall are prohibited. (Repeat comment)

EMMC 17.72.040.E. Architectural Detailing. Pedestrian-scaled architectural features/details shall be incorporated into commercial and multifamily buildings to orient the building to pedestrian activity and to increase the overall visual appeal of the structure.
1. Commercial buildings shall incorporate a majority of the following architectural details: reveals, canopies, awnings, popouts, columns, decorative trim and moldings, architectural lighting, ornamental cornices, decorative masonry pattern, decorative doors and windows, exposed timbers, and trellis structures. All sides of a building shall include the chosen details. (Repeat comment)

BUILDING SQUARE FOOTAGE

NORTHWEST
SIDING 2,147 SF
STONE 60 SF
EIFS 927 SF
EIFS 964 SF
WINDOWS 240 SF

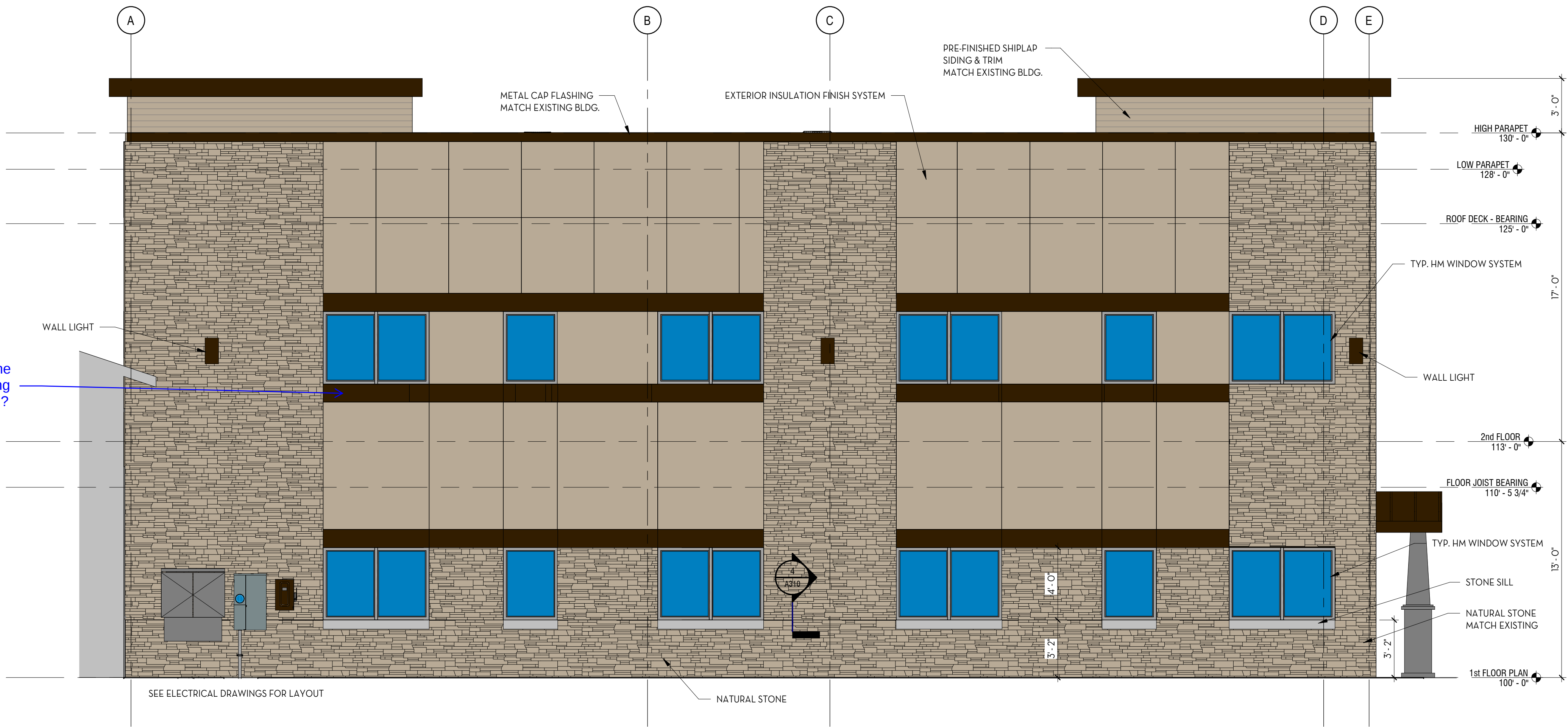
NORTHEAST
SIDING 1,085 SF
STONE 82 SF
EIFS 492 SF
EIFS 493 SF

SOUTHEAST
SIDING 2,147 SF
STONE 444 SF
EIFS 690 SF
EIFS 598 SF
WINDOWS 216 SF
DOORS 42 SF

SOUTHWEST
SIDING 1,633 SF
STONE 80 SF
EIFS 888 SF
EIFS 501 SF
WINDOWS 84 SF
DOORS 21 SF

7,012 SF	TOTAL EXTERIOR	100%
666 SF	TOTAL SIDING	10%
2,997 SF	TOTAL STONE	43%
2,556 SF	TOTAL EIFS	37%
540 SF	TOTAL WINDOWS	8%
63 SF	TOTAL DOORS	2%

Is this material the metal cap flashing or the siding trim?

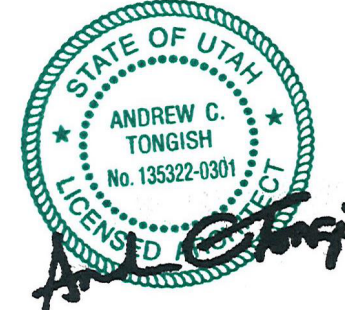


2
A201 1/4" = 1'-0"

NORTHWEST ELEVATION



1445 w. 8660 s.
west jordan, utah 84088
www.altarchitecture-ut.com



ANDY TONGISH 801-865-0633

EXTERIOR ELEVATIONS

A to Z BUILDING BLOCKS
JODY ZABRSKIE

3563 RANCHES PARKWAY EAGLE MOUNTAIN 84005

TITLE
PROJECT
CLIENT
ADDRESS

REVISIONS

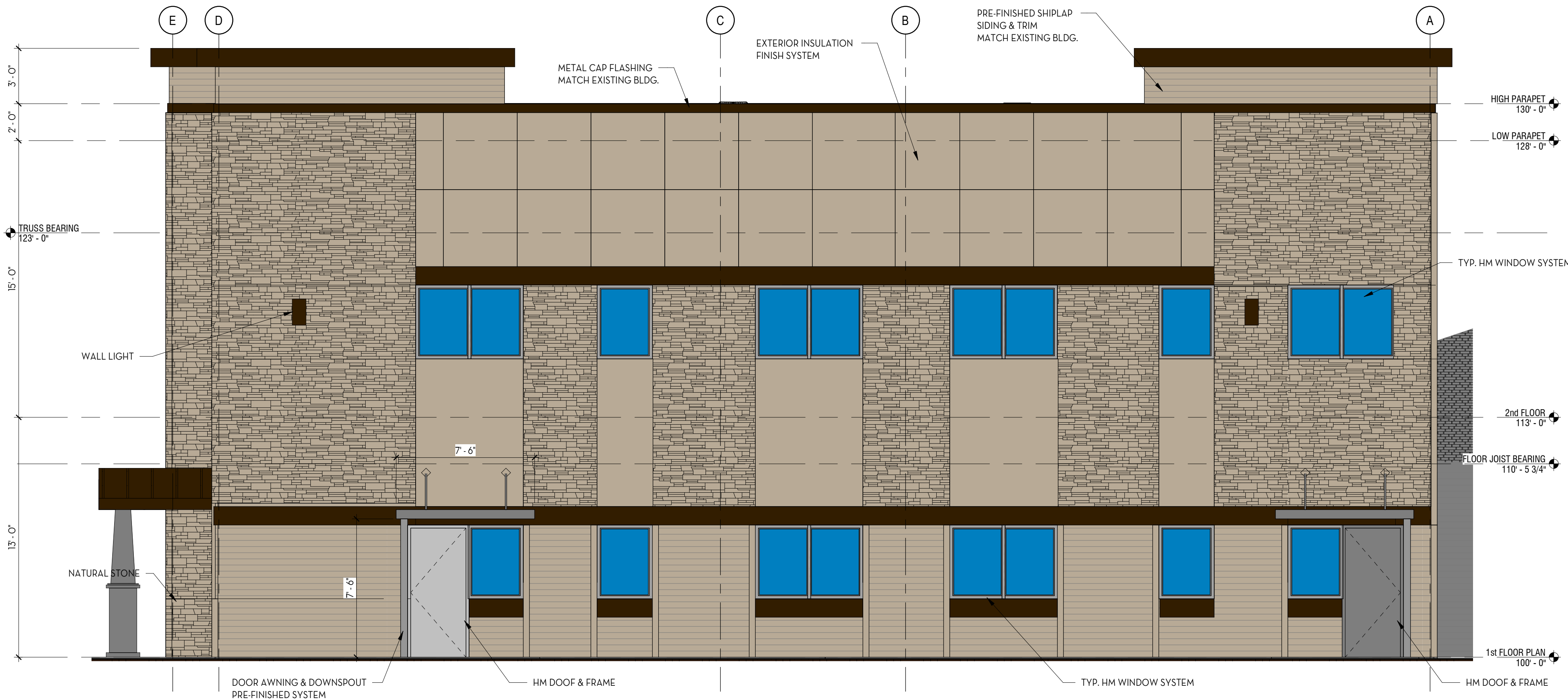
NO.	DATE	DESCRIPTION

ISSUED: 7/19/2023
PROJECT #: 23-004
DRAWN BY: act
CHECKED BY: act

SHEET

EXTERIOR ELEVATIONS

A201



1 SOUTHEAST ELEVATION
A202 1/4" = 1'-0"

BUILDING SQUARE FOOTAGE

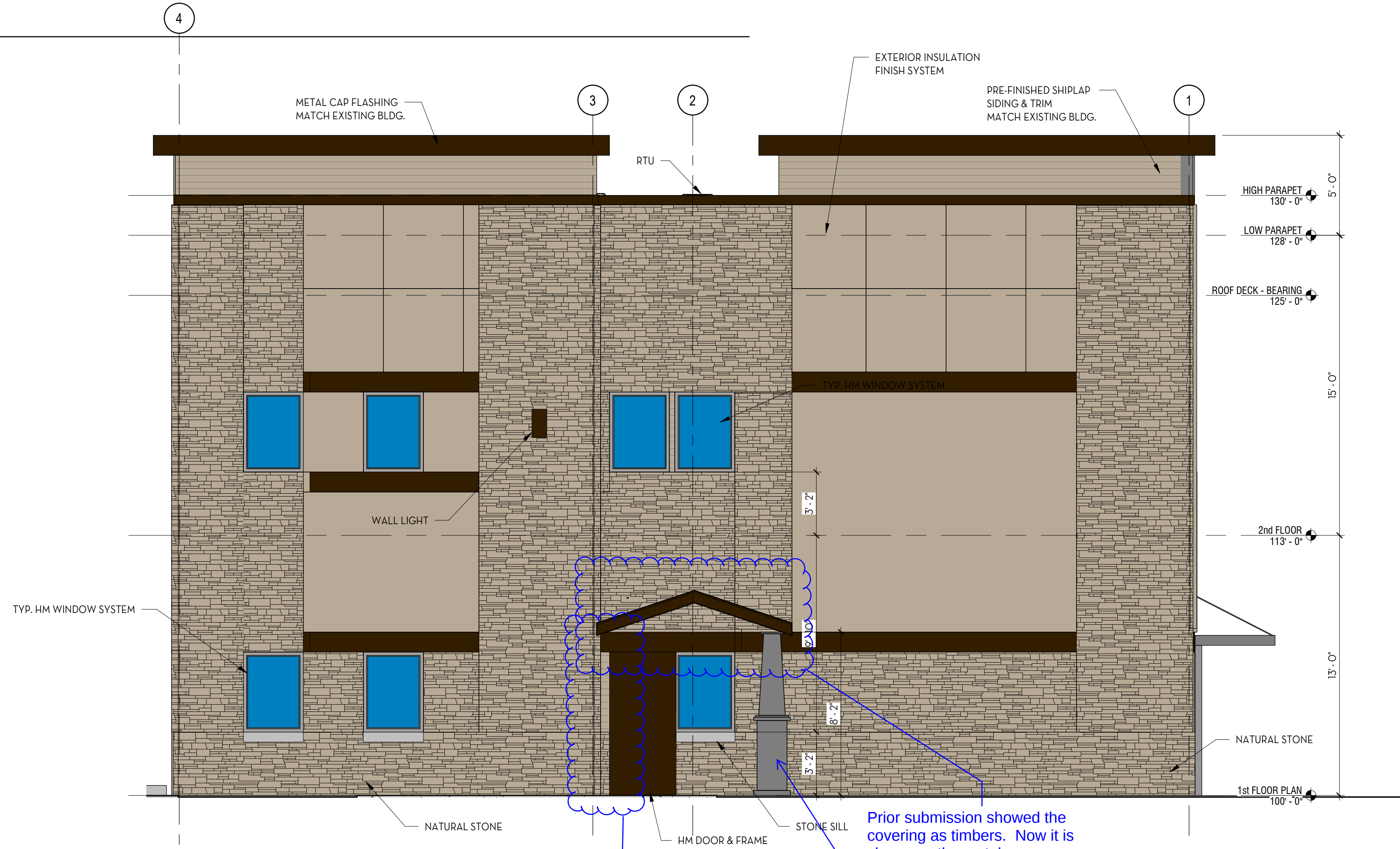
NORTHWEST 2147 SF
SIDING 60 SF
STONE 927 SF
EIFS 964 SF
WINDOWS 240 SF

NORTHEAST 1,085 SF
SIDING 82 SF
STONE 492 SF
EIFS 493 SF

SOUTHEAST 2147 SF
SIDING 444 SF
STONE 690 SF
EIFS 598 SF
WINDOWS 216 SF
DOORS 42 SF

SOUTHWEST 1,633 SF
SIDING 80 SF
STONE 888 SF
EIFS 501 SF
WINDOWS 84 SF
DOORS 21 SF

7,012 SF	TOTAL EXTERIOR	100%
666 SF	TOTAL SIDING	10%
2,997 SF	TOTAL STONE	43%
2,556 SF	TOTAL EIFS	37%
540 SF	TOTAL WINDOWS	8%
63 SF	TOTAL DOORS	2%



2 SOUTHWEST ELEVATION
A202 1/4" = 1'-0"

Earlier submitted elevations had a pillar here. Consider adding it back in to better match the existing entrance.

Prior submission showed the covering as timbers. Now it is shown as the metal cap flashing?

What material(s) will the column(s) be?

EXTERIOR ELEVATIONS

A to Z BUILDING BLOCKS

JODY ZABRISKIE

3563 RANCHES PARKWAY EAGLE MOUNTAIN 84005

TITLE

PROJECT

CLIENT

ADDRESS

REVISIONS

NO.	DATE	DESCRIPTION

ISSUED: 7/19/2023

PROJECT #: 23-004

DRAWN BY: act

CHECKED BY: act

SHEET

EXTERIOR ELEVATIONS

A202



PARKING SPACE LEASE AGREEMENT

This Parking Space Lease Agreement (this "**Lease**") is made as of June 21, 2023 by and between PARKWAY CROSSROADS, LLC, a Utah limited liability company ("**Landlord**"), and ZABRISKIE PROPERTIES #6, LLC, a Utah limited liability company ("**Tenant**"). Landlord and Tenant are each individually a "**Party**" and collectively the "**Parties**".

WHEREAS, Landlord is the owner of two lots located at 3535 Ranches Parkway, Eagle Mountain, UT 84005, Utah County Parcel IDs 49:675:0001 and 49:675:0006, respectively (both lots collectively hereinafter the "**Burdened Lots**"); and

WHEREAS, Tenant is the owner of one lot located at 3535 Ranches Parkway, Eagle Mountain, UT 84005, Utah County Parcel ID 49:938:0002 (the "**Tenant's Lot**"), and desires to lease from Landlord 22 parking stalls located on the Burdened Lots, subject to the terms and conditions set forth herein.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties hereby covenant and agree as follows.

1. Lease of Parking Stalls. Landlord hereby leases to Tenant and Tenant leases from Landlord 22 parking stalls (the "**Assigned Stalls**") from the Burdened Lots. Initially, the Assigned Stalls shall not be specifically designated but Landlord may, in its sole discretion, make such designations at any time while this Agreement is in effect.

2. Term. This Lease shall commence on the date Tenant receives a certificate of occupancy from Eagle Mountain City for its expanded building project (the "**Commencement Date**") and shall automatically renew each year on the anniversary of the Commencement Date at the same terms, subject to the Annual Rent Increase described below, unless otherwise communicated in writing by either party at least 30 days before renewal. In the event Eagle Mountain City denies Tenant's commercial site plan amendment proposal or building permit as currently programmed, Tenant shall have the right to rescind this agreement without penalty. Similarly, the parties agree to renegotiate in good faith any adjustment in parking requirements mandated by Eagle Mountain City, but neither party shall be obligated to amend this agreement as currently constituted.

3. Rent. Tenant shall pay Landlord monthly rent payments in the amount of \$555.50 per month, based on a rate of \$25.25 per stall. The rent amount shall increase annually by 3% on the anniversary of the Commencement Date (the "**Annual Rent Increase**"). Rent shall be due monthly on the first of each month and shall be paid to Landlord by ACH transfer or another method agreed upon by the Parties.

4. Use. The Tenant's sole use of the Leased Premises shall be for the parking of vehicles used by its agents, employees, consultants, affiliates, guests, customers, and invitees. The Assigned Stalls are being leased to Tenant so that Tenant's Lot may be in compliance with the number of parking stalls required by the city of Eagle Mountain, Utah, based on the square footage of the building located on Tenant's Lot. This lease is made in full acknowledgement of the Property Owner's Association Declaration recorded against the Burdened Lots and the Tenant's Lot, which includes "cross easements" for parking and drive aisles.

5. Repairs, Maintenance and Alterations. Landlord shall be responsible for repairs and maintenance related to ordinary use of the Assigned Stalls, including snow removal. Tenant shall be responsible for any repairs related to damage caused either negligently or intentionally by Tenant, its agents, employees, consultants, affiliates, guests, customers, and invitees.

6. Default. In the event that Tenant shall fail to pay Rent on or before the first of a given month, or shall violate or fail to perform any of the covenants contained herein, the following default provisions shall apply:

a. Late Payments. If Tenant shall fail to pay Rent on or before the 6th day of the month, a \$100 late fee shall become due on the 7th day. The late fee and past due Rent shall accrue interest at a rate of \$10 per day, starting on the 8th day of the month, until all past-due Rent amounts, late fees, and interest charges have been paid in full.

b. Failure to Perform. If Tenant shall violate or fail to perform any of the covenants contained herein, or if Tenant shall fail to pay Rent on or before the 15th day of the month, Landlord shall be entitled to terminate this Lease immediately, upon written notice to Tenant. Landlord's election to terminate under this section shall not preclude Landlord from exercising any other right granted in this Lease, including the collection of rent. Termination will not relieve Tenant of its obligation to pay any rent previously owed to Landlord, and Tenant shall not be entitled to any refund of rent if the Lease is terminated pursuant to this section.

7. Termination. Notwithstanding any other term of this Lease to the contrary, the Parties shall each have the right to terminate this Lease at any time upon not less than 30 days' prior written notice to the other.

8. Notice. All notices sent or required to be sent hereunder shall be delivered in writing to the mailing address provided below by each Party, or by e-mail, or other method as mutually agreed upon by the Parties.

9. Waiver; Invalidity of a Particular Provision. The failure of a Party to exercise or enforce any of its rights under this Lease shall not be a waiver of those rights and shall not affect any other right of that Party under this Lease. If any provision of this Lease shall be found to be void or unenforceable, such findings shall not be construed to render any other provision of this Lease either void or unenforceable and all other provisions shall remain in full force and effect unless the provisions which are invalid or unenforceable shall substantially affect the rights or obligations granted to or undertaken by either Party.

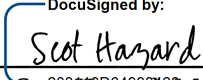
10. Construction; Section Headings. Each term and each provision of this Lease to be performed by the Tenant shall be construed to be both a covenant and a condition. The paragraph headings throughout this Lease are used for convenience only, and shall not be held to explain, modify, amplify, or otherwise aid in the interpretation, construction or meaning of this Lease.

11. Counterparts. This Lease may be executed in multiple counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.

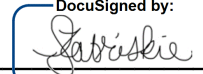
[Signature Page Follows]

IN WITNESS WHEREOF, the Parties have caused this Lease to be executed as of the date first written above.

LANDLORD
PARKWAY CROSSROADS, LLC

DocuSigned by:

By Scot Hazard, Manager

TENANT
ZABRISKIE PROPERTIES #6, LLC

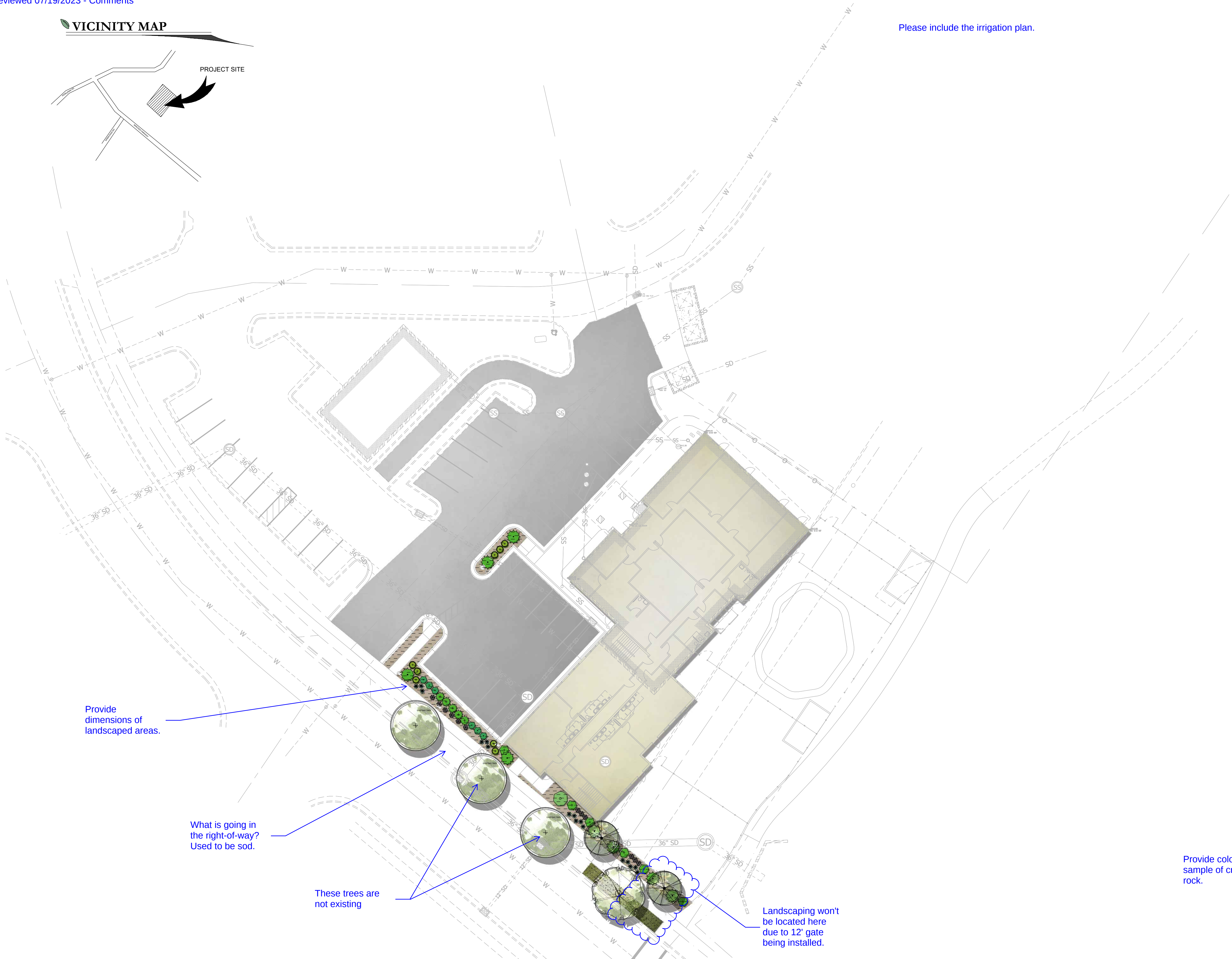
DocuSigned by:

By Jody Zabriskie, Manager

Shared Parking

Lot	Parking Provided	Parking Required	Difference	Parking shared with Lot 5 (A to Z)	Excess Stalls remaining
1	58	48	10	0	10
2	29	17	12	12	0
3&4	87	83	4	4	0
6	18	12	6	6	0
Total	192	160	32	22	10

A to Z Parking Requirements

Lot	Parking Required	Parking Provided	Difference	Shared Parking provided	Parking Total with Shared Parking
5 (A to Z)	39	17	-22	22	0



Please include the irrigation plan.

PLANT LEGEND					
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	MSS	1	Malus x 'Spring Snow' Spring Snow Crab Apple	B & B	2"Cal
	ZSM	2	Zelkova serrata 'Musashino' Musashino Zelkova	B & B	2"Cal
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	BT'C	12	Berberis thunbergii 'Concorde' Concorde Japanese Barberry	5 gal	
	CP'G	6	Caragana frutex 'Globosa' Globe Peashrub	5 gal	
	RP'C	6	Rhamnus frangula 'Columaris' Tall Hedge Buckthorn	5 gal	
	VT'A	1	Viburnum trilobum 'Alfreda' Alfreda Cranberrybush Viburnum	5 gal	
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	BM'G	5	Buxus microphylla japonica 'Green Beauty' Green Beauty Japanese Boxwood	5 gal	
	JSD	8	Juniperus sabina 'Monard' TM Moore-dense Juniper	5 gal	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	CA'K	8	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal	
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	RP'G	16	Rudbeckia fulgida 'Goldsturm' Black-eyed Susan	1 gal	

Size at Maturation (height and/or width)

Drought tolerant?

SITE MATERIALS LEGEND		
SYMBOL	LANDSCAPE DESCRIPTION	QTY
	1.01 SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH 18% "BLUESTAR KENTUCKY BLUEGRASS, 19% "MARQUIS" KENTUCKY BLUEGRASS, 17% "NIGHTHOP" KENTUCKY BLUEGRASS, 17% "TOUCHDOWN" KENTUCKY BLUEGRASS, 16% "APM PERENNIAL RYEGRASS, 13% "ACCENT PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED LAWN. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT(4") DIAMETER TREE RING COVERED WITH CHOCOLATE-BROWN BARK MULCH, NO SHREDDED FINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	238 sf
	1.10 1.5" TAN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. ROCK MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL. WHERE PLANTING IS SPARSE, ADDITIONAL TOPSOIL IS NOT NECESSARY. PREPARE A HOLE TWICE THE WIDTH OF THE CONTAINER, WATER IN PLANT, BACKFILL WITH A 3:1 RATIO OF SOIL TO COMPOST. TAMP LIGHTLY AND WATER AGAIN. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. KEEP ROCK AWAY FROM TOP OF ROOT BALL OF ALL PLANT MATERIAL. IF REQUIRED BY CITY, INSTALL DEWITT 50Z WEED BARRIER LANDSCAPE FABRIC UNDER ALL ROCK AREAS. KEEP WEED BARRIER 1 FOOT AWAY FROM EDGE OF ROOT BALL OF ALL PLANT MATERIAL. IF WEED BARRIER IS NOT REQUIRED OR INSTALLED, AT OWNER'S APPROVAL, USE TREFLAN 10 AS A PRE-EMERGENT. APPLY ACCORDING TO LABEL DIRECTIONS AFTER PLANTING AND AFTER APPLYING MULCH. THIS AREA WILL ALSO NEED AN ANNUAL MAINTENANCE PROGRAM. SUBMIT PROGRAM TO OWNER.	1,276 sf

Provide color sample of crushed rock.

Weed fabric is required

7/7/2023

UT23105

NO.	REVISION	DATE
1	XXXX	XX-XX-XX
2		
3		
4		
5		
6		
7		

811

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

A TO Z BUILDING BLOCKS

3563 RANCHES PARKWAY

EAGLE MOUNTAIN, UTAH

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Landscape Architecture • Planning & Visualization

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LEHI, UTAH 84043 (801) 753-5644
www.pkjdesigngroup.com

COLOR ILLUSTRATION
CITY PERMIT SET

LP-COLOR

Project		Catalog #		Type	
Prepared by		Notes		Date	



McGraw-Edison

Impact Elite LED

Wall Mount Luminaire

Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Energy and Performance Data page 3
- Control Options page 4

Product Certifications



Quick Facts

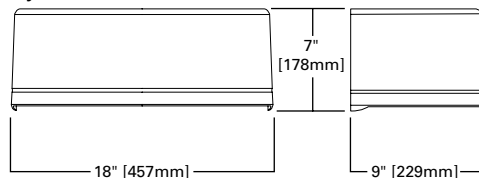
- 10 Optical Distributions
- Lumen packages range from 2,459 to 8,123 (20W - 66W)
- Efficacy up to 143 lumens per watt

Connected Systems

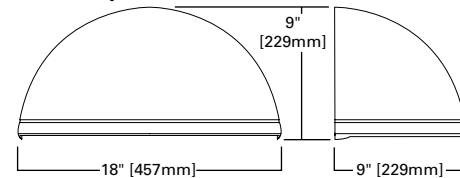
- WaveLinx
- Enlighted

Dimensional Details

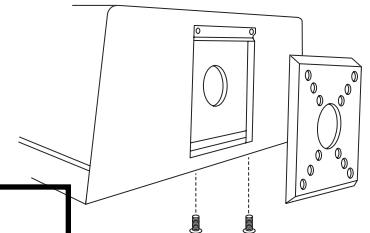
Cylinder



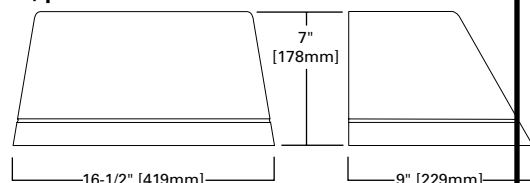
Quarter Sphere



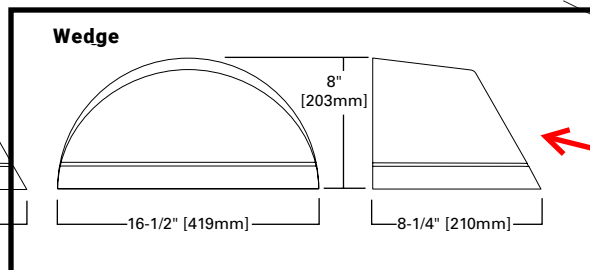
Hook -n- Lock



Trapezoid



Wedge



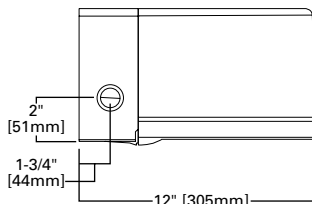
Ordering Information

SAMPLE NUMBER: ISC-SA1F-740-U-T3-BZ

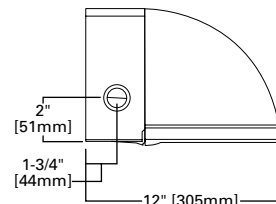
Product Family ¹	Light Engine		Color Temperature	Voltage	Distribution	Finish
	Configuration	Drive Current				
ISC=Impact Elite LED Small Cylinder ISS=Impact Elite LED Small Quarter Sphere IST=Impact Elite LED Small Trapezoid ISW=Impact Elite LED Small Wedge	SA1=1 Square	A=350mA B=450mA C=600mA D=800mA E=1000mA F=1200mA ²	722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 760=70CRI, 6000K 827=80CRI, 2700K 830=80CRI, 3000K AMB=Amber, 590nm ^{3, 4}	U=120-277V 1=120V 2=208V 3=240V 4=277V 8=480V ^{2, 5} 9=347V ²	T2=Type II T3=Type III T4FT=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)	Controls and Systems Options (Add as Suffix)			Accessories (Order Separately)		
HA=50°C High Ambient ⁸ AHD145=After Hours Dim, 5 Hours, 50% ⁹ AHD245=After Hours Dim, 6 Hours, 50% ⁹ AHD255=After Hours Dim, 7 Hours, 50% ⁹ AHD355=After Hours Dim, 8 Hours, 50% ⁹ CBP=Battery Pack with Back Box, Cold Weather Rated ^{13, 15} CBP-CEC=Battery Pack with Back Box, Cold Weather Rated, CEC compliant ¹³ LCF=Light Square Trim Plate Painted to Match Housing HSS=Factory Installed House Side Shield ¹⁶ ULG=Uplight Glow ^{6, 7} CC=Coastal Construction ²² TR=Tamper Resistant Hardware X=Driver Surge Protection (6kV) Only ¹⁷ 20K=Series 20kV UL 1449 Surge Protective Device	BPC=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle ^{2, 6, 7} SPB1=Dimming Occupancy Sensor with Bluetooth Interface, <8' Mounting ^{12, 23} SPB2=Dimming Occupancy Sensor with Bluetooth Interface, 8'-20' Mounting ^{12, 23} SPB4=Dimming Occupancy Sensor with Bluetooth Interface, 21'-40' Mounting ^{12, 23} MS/DIM-LXX=Motion Sensor for Dimming Operation ^{7, 10, 11, 12} LWR-LW=Enlighted Wireless Sensor, Wide Lens for 8'-16' Mounting Height ^{6, 12, 13} LWR-LN=Enlighted Wireless Sensor, Narrow Lens for 16'-40' Mounting Height ^{6, 12, 13} ZW=WaveLinX-Enabled Module and 4-PIN Receptacle ⁷ ZD=WaveLinX-Enabled Module with DALI Driver and 4-PIN Receptacle ⁷ ZW-SWPD4XX=WaveLinX Control Module and Wireless Sensor - 7'-15' ^{7, 18, 20} ZW-SWPD5XX=WaveLinX Control Module and Wireless Sensor - 15'-40' ^{7, 18, 20} ZW-WOBXX=WaveLinX Control Module and LC Bluetooth Sensor - 7'-15' ^{7, 18, 20} ZW-WOFXX=WaveLinX Control Module and LC Bluetooth Sensor - 15'-40' ^{7, 18, 20} ZD-SWPD4XX=WaveLinX with DALI Driver and Wireless Sensor - 7'-15' ^{7, 18, 20} ZD-SWPD5XX=WaveLinX with DALI Driver and Wireless Sensor - 15'-40' ^{7, 18, 20} ZD-WOBXX=WaveLinX with DALI Driver and LC Bluetooth Sensor - 7'-15' ^{7, 18, 20} ZD-WOFXX=WaveLinX with DALI Driver and LC Bluetooth Sensor - 15'-40' ^{7, 18, 20}			MA1253=10kV Circuit Module Replacement MA1254-XX=Thruway Back Box - Impact Elite Trapezoid MA1255-XX=Thruway Back Box - Impact Elite Cylinder MA1256-XX=Thruway Back Box - Impact Elite Quarter Sphere MA1257-XX=Thruway Back Box - Impact Elite Wedge FSIR-100=Wireless Configuration Tool for Occupancy Sensor WOLC-7P-10A=WaveLinX Outdoor Control Module (7-pin) ^{7, 19} SWPD4-XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{7, 18, 20, 21} SWPD5-XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{7, 18, 20, 21}		
NOTES: 1. DesignLight Consortium® Qualified. Refer to www.designlights.org, Qualified Products List under Family Models for details. 2. Not available with ULG option. 3. Choose Drive Current "B" for Amber 590nm, which is provided at 500mA only 4. Narrow-band 590nm +/- 5nm for wildlife and observatory use. 5. 480V must use Wye system only. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems). 6. Not available with ISS or ISW. 7. Cannot be used in conjunction with other control options. 8. Suitable for 50°C provided no options other than motion sensor are included and driver output set to 1000mA or less. 9. Requires the use of photocontrol. Not available with 350mA drive current. See After Hours Dim supplemental guide for additional information. 10. Replace LXX with L08 (<8' mounting), L20 (8'-20' mounting) or L40W (21'-40' mounting.) 11. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information. 12. Includes integral photocell. 13. Enlighted wireless sensors are factory installed and require network components in appropriate quantities. 14. Battery pack operating temperature of -20C to +40C. Operates downlight for 90-minutes. 15. Must specify 120V or 277V. 16. Not for use with 5WQ, 5WQ, 5WQ or RW optics. A black trim plate is used when HSS is selected. 17. Removes additional surge module. 18. Replace XX with sensor color (WH, BZ, or BK). 19. Requires PR7. 20. For WaveLinX applications, WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. Gateway not required for WaveLinX Lite Commercial (LC) applications. 21. Requires ZW or ZD receptacle. 22. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 23. Smart device with mobile application required to change system defaults. See controls section for details.						

Thruway Back Box

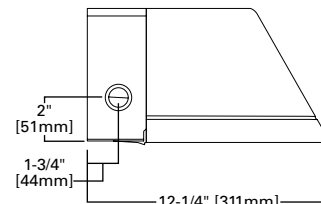
Cylinder



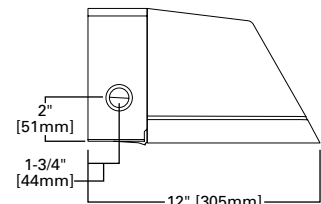
Quarter Sphere



Trapezoid



Wedge



Product Specifications

Construction

- Heavy-wall, die-cast aluminum housing and removable hinged door frame
- Optional tamper-resistant fasteners offer vandal resistant access

Optics

- High-efficiency injection-molded AccuLED optics technology
- 10 optical distributions
- IDA Certified (3000K CCT and warmer only)

Electrical

- Standard with 0-10V dimming
- Standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge

- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration
- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration.

Mounting

- Utilizes "Hook-N-Lock" mounting mechanism, securing to a gasketed and zinc plated mounting attachment
- Two black oxide coated Allen set screws concealed but accessible from below

Finish

- Super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness
- RAL and custom color matches available
- Coastal Construction (CC) option available

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

1 Light Squares (AF)		Cylinder (ISC) and Quarter Sphere (ISS)						Trapezoid (IST) and Wedge (ISW)					
Drive Current (mA)		350	450	600	800	1000	1200	350	450	600	800	1000	1200
Power (Watts)	120-277V	20.1	25.4	34.2	45.2	58.2	66.0	20.1	25.4	34.2	45.2	58.2	66.0
Current (A)	120	0.17	0.22	0.29	0.38	0.48	0.56	0.17	0.22	0.29	0.38	0.48	0.56
	277V	0.09	0.10	0.13	0.17	0.21	0.25	0.09	0.10	0.13	0.17	0.21	0.25
Power (Watts)	347V or 480V	23.3	28.7	36.6	49.5	60.7	70.1	23.3	28.7	36.6	49.5	60.7	70.1
Current (A)	347V	0.07	0.08	0.11	0.15	0.18	0.21	0.07	0.08	0.11	0.15	0.18	0.21
	480V	0.05	0.06	0.08	0.11	0.13	0.16	0.05	0.06	0.08	0.11	0.13	0.16
Optics (4000K, 70 CRI)													
T2	Lumens	2,802	3,500	4,618	5,778	7,231	7,895	2,772	3,475	4,576	5,733	7,175	7,834
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens Per Watt	139	138	135	128	124	120	138	137	134	127	123	119
T3	Lumens	2,778	3,470	4,578	5,729	7,169	7,827	2,731	3,424	4,508	5,648	7,069	7,718
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens Per Watt	138	137	134	127	123	119	136	135	132	125	121	117
T4FT	Lumens	2,751	3,436	4,534	5,673	7,099	7,751	2,762	3,462	4,559	5,712	7,149	7,805
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens Per Watt	137	135	133	126	122	117	137	136	133	126	123	118
T4W	Lumens	2,780	3,473	4,582	5,733	7,174	7,833	2,739	3,434	4,522	5,665	7,089	7,740
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens Per Watt	138	137	134	127	123	119	136	135	132	125	122	117
SL2	Lumens	2,763	3,451	4,554	5,698	7,130	7,785	2,730	3,422	4,507	5,646	7,066	7,715
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
	Lumens Per Watt	137	136	133	126	123	118	136	135	132	125	121	117
SL3	Lumens	2,745	3,429	4,524	5,660	7,084	7,734	2,709	3,396	4,472	5,603	7,012	7,655
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens Per Watt	137	135	132	125	122	117	135	134	131	124	120	116
SL4	Lumens	2,680	3,348	4,417	5,526	6,916	7,551	2,666	3,342	4,401	5,514	6,900	7,534
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens Per Watt	133	132	129	122	119	114	133	132	129	122	119	114
SLL	Lumens	2,447	3,057	4,033	5,046	6,315	6,895	2,459	3,083	4,059	5,086	6,365	6,949
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	Lumens Per Watt	122	120	118	112	109	104	122	121	119	113	109	105
RW	Lumens	2,883	3,601	4,751	5,945	7,440	8,123	2,818	3,533	4,652	5,828	7,294	7,964
	BUG Rating	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1
	Lumens Per Watt	143	142	139	132	128	123	140	139	136	129	125	121

Lumen Maintenance (TM-21)

Drive Current	Ambient Temperature	25,000 hours*	50,000 hours*	60,000 hours*	100,000 hours**	Theoretical L70 hours**
Up to 1A	25°C	99.4%	99.0%	98.9%	98.3%	> 2.4M
	40°C	98.7%	98.3%	98.1%	97.4%	> 1.9M
	50°C	98.2%	97.2%	96.8%	95.2%	> 851,000
1.2A	25°C	99.4%	99.0%	98.9%	98.3%	> 2.4M
	40°C	98.5%	97.9%	97.7%	96.7%	> 1.3M

* Supported by IES TM-21 standards

** Theoretical values represent estimations commonly used; however, refer to the IES position on LED Product Lifetime Prediction, IES PS-10-18, explaining proper use of IES TM-21 and LM-80.

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



View Impact Elite IES files

Control Options

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (BPC and PR7)

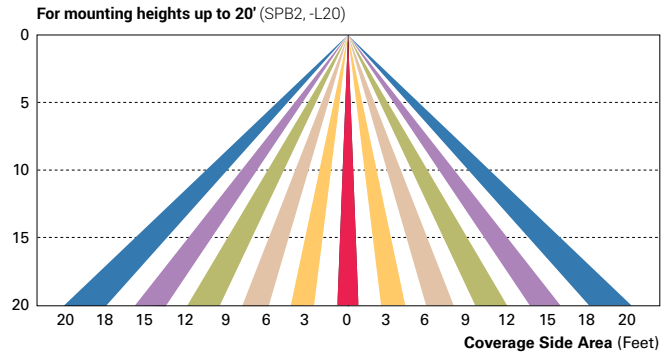
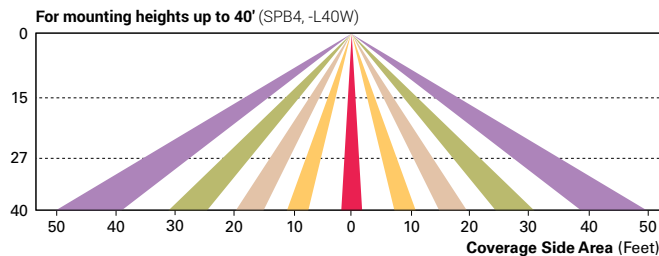
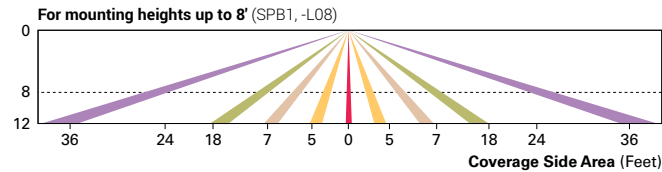
Optional button-type photocontrol provides a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels.

After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

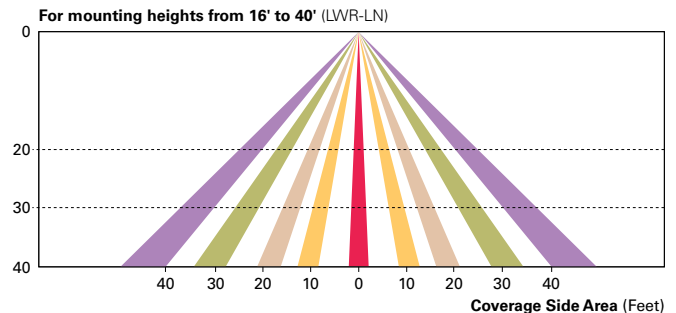
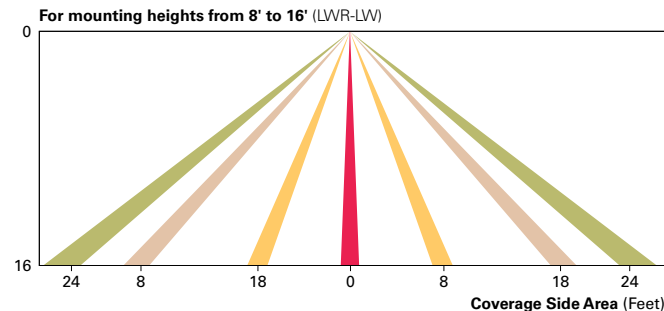
Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS/DIM occupancy sensors require the FSIR-100 programming tool to adjust factory defaults.



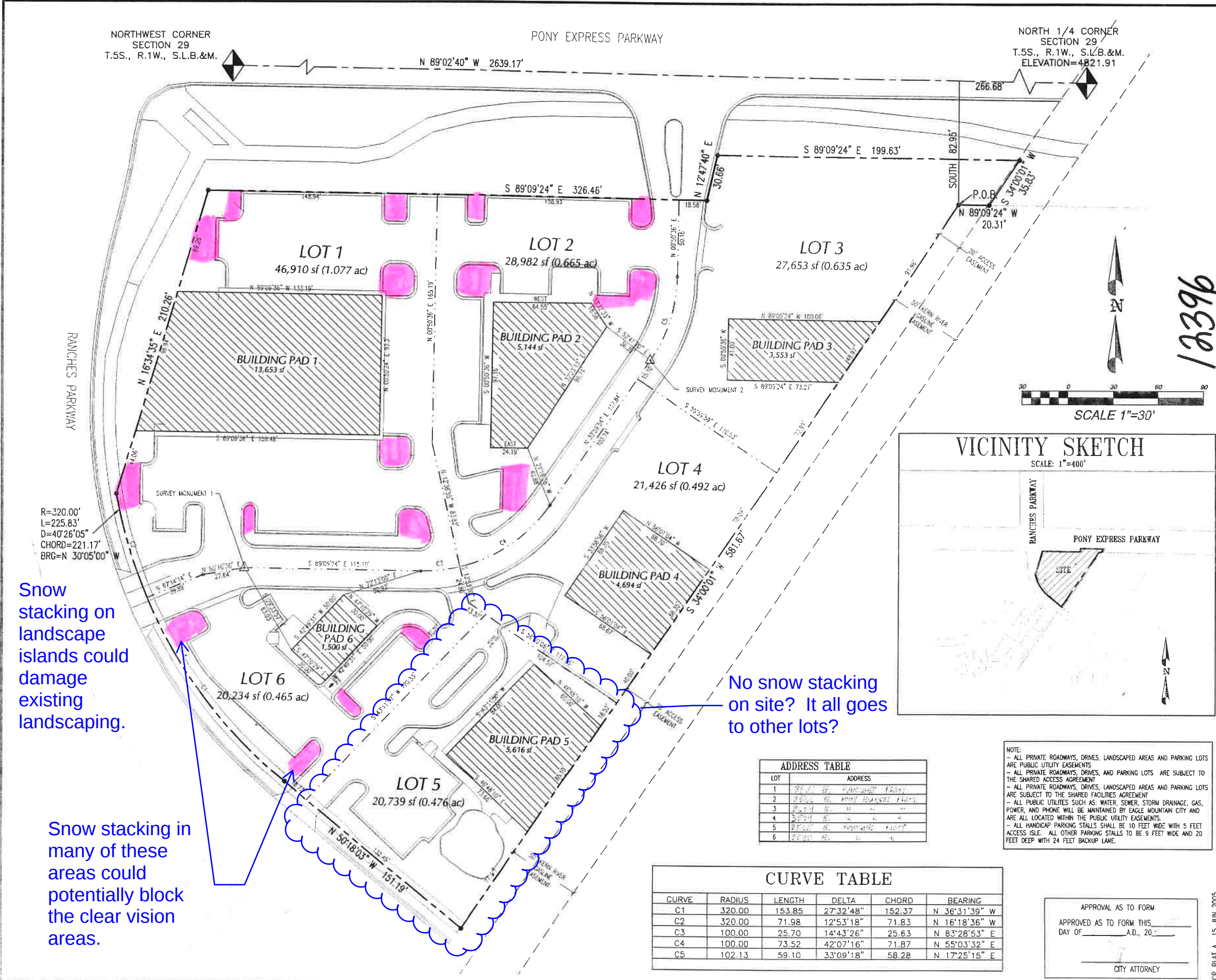
Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN)

Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinX Wireless Outdoor Lighting Control Module (WOLC-7P-10A)

The 7-pin wireless outdoor lighting control module enables WaveLinX to control outdoor area, site and flood lighting. WaveLinX controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.



SURVEYOR'S CERTIFICATE
I, _____ DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. _____ AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, EASEMENTS, PRIVATE, LIMITED COMMON, AND COMMON AREA AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.
DATE _____ SURVEYOR (SEE SEAL BELOW)

BOUNDARY DESCRIPTION
BEGINNING AT A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PONY EXPRESS PARKWAY AS SHOWN ON "THE RANCHES PARKWAY/PONY EXPRESS PARKWAY ROAD DEDICATION PLAT" RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER AS MAP FILING #8060, WHICH POINT IS N 89°32'40" W ALONG THE SECTION LINE 266.68 FEET AND SOUTH 82.95 FEET FROM THE NORTH QUARTER CORNER OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN;
RUNNING THENCE S 34°00'01" W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF THE KERN RIVER GAS TRANSMISSION COMPANY EASEMENT (ENTRY #10145-90) 581.67 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF THE RANCHES PARKWAY AS SHOWN ON "PLAT A CHIMNEY ROCK AT RED HAWK RANCH SUBDIVISION" AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER AS MAP FILING #8096; THENCE NORTHERLY ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING TWO COURSES: (1) N 50°18'03" W 151.19 FEET, (2) NORTHWESTERLY 225.83 FEET ALONG THE ARC OF A 320.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH AN ANGLE OF 40°26'05" (CHORD= N 30°05'00" W 221.17 FEET), THENCE N 16°34'35" E 210.26 FEET TO A POINT ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF PONY EXPRESS PARKWAY; THENCE EASTERLY ALONG SAID LINE S 89°09'24" E 326.46 FEET; THENCE N 12°47'40" E 30.66 FEET; THENCE S 89°39'24" E 199.63 FEET; THENCE S 34°00'01" W 35.83 FEET TO POINT ALONG SAID SOUTHERLY RIGHT-OF-WAY; THENCE N 89°09'24" W 20.31 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY TO THE POINT OF BEGINNING.
CONTAINING 3.810 ACRES.

OWNER'S DEDICATION
WE, THE UNDERSIGNED OWNERS OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9 J7, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO EAGLE MOUNTAIN CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS AND ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO EAGLE MOUNTAIN CITY, UTAH, TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND EAGLE MOUNTAIN CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.
OWNER(S): _____ AUTHORIZED SIGNATURE(S) _____
PRINTED NAME OF OWNER _____

ACKNOWLEDGMENT
ON THE _____ DAY OF _____, 2003, PERSONALLY APPEARED BEFORE ME THE PERSONS SIGNING THE FOREGOING OWNERS DEDICATION KNOWN TO ME TO BE AUTHORIZED TO EXECUTE THE FOREGOING OWNERS DEDICATION FOR AND ON BEHALF OF THE OWNERS WHO DULY ACKNOWLEDGED TO ME THAT THE OWNERS DEDICATION WAS EXECUTED BY THEM ON BEHALF OF THE OWNERS
MY COMMISSION EXPIRES _____ NOTARY PUBLIC _____

ACCEPTANCE BY LEGISLATIVE BODY
THE _____ CITY COUNCIL OF _____ EAGLE MT. CITY COUNTY OF UTAH, APPROVES THIS PLANNED UNIT DEVELOPMENT AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____
APPROVED _____ ATTEST _____
CITY ENGINEER (SEE SEAL BELOW) CLERK-RECORDER (SEE SEAL BELOW)

PLAT "A"
PARKWAY CROSSROADS
LOCATED IN THE NORTHWEST 1/4 OF SECTION 29, T5S, R1W, S.L.B.&M
PLANNED UNIT DEVELOPMENT _____ EAGLE MT. _____ CITY, UTAH COUNTY, STATE OF UTAH
SCALE: 1" = 30 FEET

SURVEYOR'S SEAL _____ NOTARY PUBLIC SEAL _____ CITY ENGINEER SEAL _____ CLERK-RECORDER SEAL _____
APPROVAL AS TO FORM
APPROVED AS TO FORM THIS _____ DAY OF _____, A.D., 20____
CITY ATTORNEY _____

ADDRESS TABLE	
LOT	ADDRESS
1	2222 E. RANCHES PARKWAY
2	2222 E. RANCHES PARKWAY
3	2222 E. RANCHES PARKWAY
4	2222 E. RANCHES PARKWAY
5	2222 E. RANCHES PARKWAY
6	2222 E. RANCHES PARKWAY

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	320.00	153.85	27°32'48"	152.37	N 36°31'39" W
C2	320.00	71.98	12°53'18"	71.83	N 16°18'36" W
C3	100.00	25.70	14°43'26"	25.63	N 83°28'53" E
C4	100.00	73.52	42°07'16"	71.87	N 55°03'32" E
C5	102.13	59.10	33°09'18"	58.28	N 17°25'15" E

NOTE:
- ALL PRIVATE ROADWAYS, DRIVES, LANDSCAPED AREAS AND PARKING LOTS ARE PUBLIC UTILITY EASEMENTS
- ALL PRIVATE ROADWAYS, DRIVES, AND PARKING LOTS ARE SUBJECT TO THE SHARED ACCESS AGREEMENT
- ALL PRIVATE ROADWAYS, DRIVES, LANDSCAPED AREAS AND PARKING LOTS ARE SUBJECT TO THE SHARED FACILITIES AGREEMENT
- ALL PUBLIC UTILITIES SUCH AS: WATER, SEWER, STORM DRAINAGE, GAS, POWER, AND PHONE WILL BE MAINTAINED BY EAGLE MOUNTAIN CITY AND ARE ALL LOCATED WITHIN THE PUBLIC UTILITY EASEMENTS
- ALL HANDICAP PARKING STALLS SHALL BE 10 FEET WIDE WITH 5 FEET ACCESS ISLE. ALL OTHER PARKING STALLS TO BE 9 FEET WIDE AND 20 FEET DEEP WITH 24 FEET BACKUP LANE.

