



EAGLE MOUNTAIN PLANNING COMMISSION MEETING

February 25, 2020, 5:30 PM

Eagle Mountain City Council Chambers

1650 East Stagecoach Run, Eagle Mountain, Utah 84005

5:30 P.M. - EAGLE MOUNTAIN CITY PLANNING COMMISSION WORK SESSION

1. DISCUSSION ITEMS

- 1.A. [Community Commercial - Municipal Code](#)
Discussion on the Community Commercial Code.
- 1.B. [Neighborhood Commercial - Municipal Code](#)
Discussion on the Neighborhood Commercial Code.
- 1.C. [Commercial Civic Town Center - Municipal Code](#)
Discussion of the Commercial Civic Town Center Code.

6:30 P.M. - EAGLE MOUNTAIN CITY PLANNING COMMISSION POLICY SESSION

2. PLEDGE OF ALLEGIANCE

3. DECLARATION OF CONFLICTS OF INTEREST

4. APPROVAL OF MEETING MINUTES

- 4.A. [February 11, 2020 Minutes](#)
Regular Planning Commission Meeting.
[PC Minutes 02.11.2020 - DRAFT](#)

5. STATUS REPORT

THE PUBLIC IS INVITED TO PARTICIPATE IN PUBLIC MEETINGS FOR ALL AGENDAS.

In accordance with the Americans with Disabilities Act, Eagle Mountain City will make reasonable accommodation for participation in all Public Meetings and Work Sessions. Please call the City Recorder's Office at least 3 working days prior to the meeting at 801-789-6610. This meeting may be held telephonically to allow a member of the public body to participate. This agenda is subject to change with a minimum 24-hour notice.

6. ACTION AND ADVISORY ITEMS

6.A. [Hidden Hollow Phase B Amended Site Plan - Public Hearing](#)

This is an application to amend the parks and amenities for the Hidden Hollow Phase B development, located off of Hidden Valley Parkway and south of Hidden Hollow Elementary School.

[Hidden Hollow Plat B Phase 1 - Final](#)

[Hidden Hollow Concept Plan - 2020 Parking Lot Adjustment](#)

[Hidden Hollow Phase B - Parks and Open Space Worksheet](#)

7. DISCUSSION ITEMS

8. NEXT SCHEDULED MEETING

9. ADJOURNMENT

CERTIFICATE OF POSTING

The undersigned, duly appointed City Recorder, does hereby certify that the above agenda notice was posted on this **21st day of February, 2020**, on the Eagle Mountain City bulletin boards, the Eagle Mountain City website www.emcity.org, posted to the Utah State public notice website <http://www.utah.gov/pmn/index.html>, and was emailed to at least one newspaper of general circulation within the jurisdiction of the public body.

Fionnuala B. Kofoed, MMC, City Recorder



EAGLE MOUNTAIN City Planning Commission MEETING MINUTES

February 11, 2020, 5:30 p.m.
Eagle Mountain City Council Chambers
1650 East Stagecoach Run, Eagle Mountain, Utah 84005

The following minutes document the meeting in the order in which items were presented.

5:30 P.M. — Eagle Mountain City Planning Commission Work Session A

COMMISSION MEMBERS PRESENT: Christopher Pengra, Erin Wells, Rich Wood, and Brett Wright. Commissioner Matthew Everett was excused.

ELECTED OFFICIALS PRESENT: City Councilmembers Donna Burnham and Carolyn Love.

CITY STAFF PRESENT: Steve Mumford, Community Development Director; Michael Hadley, Planning Manager; Jessa Porter, Planner; and Elizabeth Fewkes, Recording Secretary.

Commissioner Wood called the meeting to order at 5:30 p.m.

1. Discussion Items

1.A. Training

This item was not presented or discussed.

1.C. City Code

Commissioner Wood presented his proposed amendments to Municipal Code Chapter 17.35 Commercial Zone and Chapter Business Park Zone 17.37.

1.B. General Plan Review

Commissioner Wood discussed how Municipal Code impacts the City's General Plan.

1.C. City Code

Commissioner Wood presented changes to Municipal Code to alter permitted, conditional, special, and prohibited uses in the Commercial and Business Park Zones. He requested feedback from the Planning Commission with the intent to prepare suggested changes to be sent to the City Council for review and implementation.

Commissioner Wells expressed concerns with the Planning Commission drafting Municipal Code. In her experience, staff has drafted changes. She said she did not want to discount the knowledge and abilities of staff or exclude them from the drafting process.

Commissioner Wood stated Community Development Director Steve Mumford has expressed similar concerns. Commissioner Wood said he does not intend to replace staff and desires to work

in harmony with them during the drafting and implementation of the changes and that Planning Commission recommendations are allowable under Utah Code Title 10, Chapter 9a, Part 5, Section 502.

Commissioner Wright expressed his desire to work with staff to ensure the Planning Commission's priorities are completed in a timely manner and that collaboration with the expertise of City staff will conjunctively create the best results.

Commissioner Pengra expressed concerns regarding the appearance or actuality of the Planning Commission unilaterally directing Municipal Code changes and stated he did not feel qualified to adequately assess the risk of unintended consequences. He suggested the City contract with a trained professional to guide the Commission and facilitate in collaboration with City staff and the City Council in amending the Municipal Code.

Mr. Mumford described staff efforts to amend the Municipal Code, including the compilation of a list of Municipal Codes they would like to amend or create. The Commercial Neighborhood Zone is nearing completion. He has discussed with the City Council the possibility of hiring a consultant to assist staff and accelerate the timetable for implementation. Mr. Mumford recommended the assistance of a professional in drafting updates to the more complex areas, such as the airport and transit-oriented zones, and suggested the Planning Commission could start by addressing some of the simpler Municipal Code updates.

Discussion ensued regarding the airport zone. Commissioner Pengra offered to consult experts he knows in the field, as suggested by Mr. Mumford.

1.B. General Plan Review

Commissioner Wood identified areas within the City in which the General Plan permits business parks.

1.C. City Code

Commissioner Wood presented his suggestions for allowable uses in the Business Park Zone.

Commissioner Pengra suggested focusing only on one or two areas of Code at a time.

Commissioner Wright expressed the desire to effectively move these ideas forward with input from everyone involved to obtain the best product possible as a cohesive body.

Commissioner Wood cited information that he compiled from the General Plan and other sources and added as a suggested amendment to Chapter 17.35.020 Commercial Zones. He described his proposed additions which includes the purpose of the new zone, Commercial Neighborhood.

1.B. General Plan Review

Commissioner Wood suggested the formation of committees and stated the committees should start with how zones within the City should be divided. He indicated on the General Plan where some of his proposed zones would be located.

Commissioner Wood cited resources used to compile a new zone, Commercial Community, and an amendment to Code stating its purpose. He also described the proposed Commercial Civic Town Center Zone and its purpose.

1.B. General Plan Review

Commissioner Wood identified the Town Center Mixed Use designation on the City's General Plan adjacent to Corey Wride Park as the most applicable for Commercial Civic Town Center zoning. Mr. Mumford suggested possible adjustments to Commissioner Wood's alterations to the General Plan. Discussion ensued regarding the best zoning for various areas. Mr. Mumford suggested focusing on the areas designated Community Commercial in the General Plan because a related application for rezoning will be brought before the Planning Commission in the near future.

Commissioner Wood suggested recessing the Work Session and reconvening after the Policy Session. Commission Pengra asked if meeting rules and procedure guidelines permitted the splitting of a work session. Commission Wood said it is allowed.

Commissioner Wood adjourned the Work Session at 6:29 p.m.

6:30 P.M. — Eagle Mountain City Planning Commission Policy Session

Commissioner Wood called the meeting to order at 6:35 p.m.

2. Pledge of Allegiance

Commissioner Wood led the Pledge of Allegiance.

3. Declaration of Conflicts of Interest

None.

4. Approval of Meeting Minutes

4.A. January 28, 2020 Meeting Minutes

Commissioner Pengra requested an amendment to the minutes for item three, The Marketplace at Eagle Mountain Town Center master site plan and preliminary plat to remove condition number three.

MOTION: *Commissioner Pengra moved to approve the January 28, 2020 meeting minutes as amended. Commissioner Wright seconded the motion. Those voting aye: Brett Wright, Rich Wood, Christopher Pengra, and Erin Wells. The motion passed with a unanimous vote.*

5. Status Report

The Planning Commission discussed this item after item 7.A.

6. Action and Advisory Items

6.A. Pink Poodle Animal Management Plan

Commissioner Wood stated this item had been removed from the agenda.

6.B. Development Code Amendment — Chapter 16.15.050 Concept Plans

The Planning Commission did not discuss this item.

MOTION: *Commissioner Wright moved to recommend approval of the amendment to Eagle Mountain Municipal Code Chapter 16.15.050 Concept Plans to the City Council. Commissioner Wells seconded the motion. Those voting aye: Brett Wright, Rich Wood, Christopher Pengra, and Erin Wells. The motion passed with a unanimous vote.*

7. Discussion Items

7.A. Spring Run — Concept Plan

Planner Jessa Porter presented the Spring Run concept plan and staff recommendations. The concept plan is for a commercial and residential development located on 55 acres north of Wride Memorial Highway, along Spring Run Parkway. The development consists of four phases including 10.45 acres of single-family lots, 6.76 acres of townhomes, 7.47 acres of commercial property, and 13.79 acres of apartment units. The applicant will need to change the name of the project as there is already a Spring Run development in the City.

The area is currently zoned Commercial. Mixed-use residential development is listed as a conditional use under 17.35.040 in Municipal Code. It is the staff's opinion that this development does not qualify as a mixed-use development. The residential areas of this development would require a rezone.

The Utah Department of Transportation (UDOT) has purchased the Wride Memorial Highway expansion area. The majority of the proposed accesses line up with existing approved highway accesses.

The project does not comply with lot size transitioning requirements; the type of transitioning needed may not be the best use of commercially zoned land this close to the highway. Alternative transitioning should be considered.

Ms. Porter stated Spring Run Phase A, a project to the northwest, was approved with a 100-foot buffer space between the ¼-acre lots and the existing one-acre lots. If the planned uses adjacent to the one-acre lots were commercial, Municipal Code only requires a 20-foot landscape buffer and a six-foot privacy wall. The concept plan does not contain any large retail lots or commercial anchors. With the future freeway development, this site will be the main intersection in The

Ranches area of the City, and the potential for more commercial, retail, and office uses could be high.

Mr. Mumford explained that mixed-use is generally defined as residential space over or immediately adjacent to commercial space. Commissioner Pengra clarified that staff concluded the concept plan did not qualify for mixed-use zoning due to the distance between the commercial and residential spaces, even though Municipal Code does not specify a required proximity.

Applicant Lou Swain presented the history of proposed projects, difficulties encountered, and the current concept plan.

The Planning Commission recognized the difficulties Mr. Swain has faced with this development and expressed appreciation for his willingness to work with the City.

Commissioner Wood expressed concerns related to approving partial rezoning due to lot transitioning requirements, the projects proximity to neighboring cities, and future major thoroughfare installation along the property. He said the City has approved ample residential zoning and the City and the citizens want more commercial options, especially in such an ideal location.

Commissioner Wells stated she disagreed with Mr. Swain's assessment that the concept plan fits the Municipal Code's Community Commercial General Plan designation, which allows for ancillary residential use, because the plan's commercial acreage consists of less than 20% of the total developed space. She expressed the opinion that some high-density residential development may be appropriate in that location but not to the extent presented. Due to UDOT's plans for the area, it could be redesignated to Regional Commercial. She would not advise single-family homes in the area due to the zone transitioning requirements.

Commissioner Pengra stated that although Saratoga Springs currently has a greater commercial draw, future growth will attract more businesses to Eagle Mountain. He expressed that high-density housing would be appropriate for this area, as its proximity to a future major thoroughfare would prevent additional traffic flow through single-home neighborhoods.

Commissioner Wright agreed that some high-density housing may be appropriate for this area, but the majority of the land should be preserved as a prime, commercial gateway into the City.

Mr. Swain thanked the Commission for their feedback and said he would make an appointment with Mr. Mumford to work on a compromise.

5. Status Report

Mr. Mumford presented an assessment of Eagle Mountain City growth and projections, building permits and statistics, lot divisions by type and density percentages, planned land use, and comparisons with cities within Utah and nationwide to assist the City staff, the Planning Commission, and City Council in jointly creating a fiscally-sound vision and expansion strategy.

Discussed ensued on the merits of Eagle Mountain City, reasons for growth, and how to maintain the features that attract residents while financing the necessary infrastructure.

8. [Next scheduled meeting](#)

9. [Adjournment](#)

MOTION: *Commissioner Wells moved to adjourn the policy session and reconvene the work session at 8:08 p.m. Commissioner Pengra seconded the motion. Those voting aye: Brett Wright, Rich Wood, Christopher Pengra, and Erin Wells. The motion passed with a unanimous vote.*

MOTION: *Commissioner Wright moved to end the meeting at 8:30 pm. Commissioner Wood seconded the motion. Those voting aye: Brett Wright, Rich Wood, and Erin Wells. No nay vote was called for. The motion passed with a vote of 3:1.*

Commissioner Pengra voiced concern over the Planning Commission making an official motion for an item not on the agenda in an unofficially convened sub-meeting.

5:30 P.M. — Eagle Mountain City Planning Commission Work Session A

1. [Discussion Items](#)

1.C. [City Code](#)

Commissioner Wood requested the Commission's feedback regarding the realignment of the commercial zones development standards and uses in order for him to present to the City Council and then City staff. He also requested opinions regarding conditional use permits.

Commissioner Wells agreed with Commissioner Wood's concerns regarding conditional uses and their potential for legal ramifications.

Commissioner Pengra expressed concerns regarding implications to the decisions the Planning Commission is considering. He stated there might be appropriate instances for conditional uses, but he has not had sufficient opportunity to review and understand the intricacies of Municipal Code before being asked to make amendments to it.

Discussion ensued regarding conditional use permits.

Mr. Mumford stated that the Residential Zone includes special uses that are permitted with special conditions and/or requirements, and suggested that instead of amending the conditional uses, an addition of special requirements could be used to address the Commissions' concerns.

Commissioner Wood directed the Commissioners to meet with City Councilmembers in the next week to establish communication and relationships to facilitate drafting suggestions for amendments to Municipal Code. During the next Planning Commission work session, the amendments will be drafted, without losing time to ancillary tangents, to send to the City Council and City Attorney for review. During the original work session, Commissioners Pengra, and Wells

had expressed, via ancillary tangents, concerns of the appearance and/or actuality of the Planning Commission unilaterally drafting Municipal Code amendments without direct involvement of staff, the City Council, or municipal planning experts.

Commissioner Wood suggested focusing on making temporary adjustments to the airport code to restrict the uses the Commission is not comfortable with until they can formulate a permanent solution. Mr. Mumford explained the zone had originally been created specifically for the Jake Garn Airport and reflected the intended uses of that area. During work session one, Mr. Mumford had suggested consulting an expert before making changes to the airport zone, and Commissioner Pengra had volunteered to consult with an airport expert he knows.

Commissioner Pengra said he viewed the airport as low priority. Commissioner Wood said a request has been made to clarify airport zoning. Commissioner Wright said his understanding was they were waiting for direction from the City Council regarding vested rights. Mr. Mumford said the applicant has a vested right to use the airstrip for the approved uses but desires to have it rezoned to have his vested right clarified and protected. Changes to the zoning of that area will impact the surrounding transportation plan. Mr. Mumford said he could consult with the City Attorney to see if the area can or should be rezoned. Commissioner Wright said he thought the applicant was open to rezoning as residential; it is currently zoned Agricultural.

Commissioner Pengra expressed concern over the unlikelihood of needing to specifically create a Commercial Storage zone. Commissioners Wood and Wright said the zone had been created previous to their time on the Commission.

Commissioner Wood said he did not think a motion was needed and adjourned the meeting at 8:30 p.m.

Commissioner Pengra requested to officially adjourn the meeting with a motion.

MOTION: *Commissioner Pengra moved to adjourn. Commissioner Wells seconded the motion. A vote was not called or recorded.*

Commissioner Wood recognized the motion and the second.

Approved by the Planning Commission on February 25, 2020.

Steve Mumford, AICP
Community Development Director



EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 25, 2020

TITLE:	Hidden Hollow Phase B Amended Site Plan - Public Hearing
ITEM TYPE:	Amended Site Plan
APPLICANT:	Ryan Bybee

ACTION ITEM:

Yes

PUBLIC HEARING:

Yes

REQUIRED FINDINGS:

It will be the responsibility of the Planning Commission and City Council to review the new proposal to decide if this plan provides a similar or better benefit than the original proposal.

PREPARED BY:

Michael Hadley,
Planning

BACKGROUND:

This application only addresses the Parks and Amenities plan for the Hidden Hollow Phase B Preliminary Plat. The Hidden Hollow Phase B Preliminary Plat and Site Plan were approved by the City Council on September 4, 2018. Phase B consists of 17 single-family lots and 54 townhouses, for a total of 71 lots/units. Attached is the approved parks and amenities plan. The plan included a trail at the base of the hill behind the townhouses, a storm water detention basin, and a 20-stall trail head parking lot with a drinking fountain, restroom, trail head kiosk, bike tool rack, way finding signs, and bench/picnic table with shade structure.

There are two reasons for the requested amendment:

1. Placing a restroom close to the City's well requires a significant increase in costs to protect the sewer line from any leaks that may compromise the water quality at the well.
2. The developer has discovered that the slope of the hillside behind the townhouses does not leave sufficient room for a decent trail and the trail would be quite steep in some areas; or in other words, the trail will be sandwiched between the townhouses and the hillside in a fairly small space.

The following is the new proposal:

- Eliminate the trail behind the townhouses.
- Move the trail head bathroom and pavilion to the NEW upper parking lot.
- Instead of curb, gutter and asphalt on 20 stalls they will eliminate the curb, gutter and asphalt and install 80 stalls on 9" sub-base and 6" of road base, with railroad ties at the ends of parking stalls. The earthwork has already been completed to prepare the smaller parking area adjacent to the well, so rather than completely swapping places between the parking lot and the detention basin, the plan will include a larger parking area and a smaller overflow parking area.
- Landscaping will remain as it was presented with the original proposal, except for the south portion; instead of the native open space, it will now be 60 parking stalls, pavilion and bathroom.

As you are aware, the Hidden Valley area is used quite frequently by the

mountain biking community and is an attraction for mountain bikers from many other cities. The local high school mountain bike teams use these trails to practice/train, and they have even begun holding a mountain bike race on the trails each season. Additional parking in this area would be well used.

ITEMS FOR CONSIDERATION:

RECOMMENDATION:

The Planning Commission may recommend approval, approval with conditions, table for more information, or denial based upon findings of facts. If the Planning Commission chooses to approve this application, we recommend the following motion:

I move that the Eagle Mountain Planning Commission recommend approval of the Hidden Hollow Amended Site Plan with the following conditions:

1) A full updated set of landscape plans shall be submitted and approved before building permits can be submitted in Phase B Plat 2.

And any conditions the Planning Commission deems appropriate based on findings of facts.

If the Planning Commission feels that there are sufficient findings of facts to recommend denial of the proposed site plan, then the following motion is appropriate:

I move that the Planning Commission recommend denial of the Hidden Hollow amended site plan based on the following findings of facts...

Attachments:

[Hidden Hollow Plat B Phase 1 - Final](#)

[Hidden Hollow Concept Plan - 2020 Parking Lot Adjustment](#)

[Hidden Hollow Phase B - Parks and Open Space Worksheet](#)

HIDDEN HOLLOW: PHASE 'B' PLAT '1' CONSTRUCTION PLANS

prepared for:
CADENCE HOMES
3400 north Ashton Blvd. Suite 180
LEHI, UT 84043
PHONE: (801)768-0500

prepared by:
TRANE ENGINEERING
27 EAST MAIN STREET
LEHI, UT 84043
PHONE: (801) 768-4544

GENERAL NOTES:

- 1) AS-BUILT DRAWING, FORMATTED IN ACCORDANCE WITH EAGLE MOUNTAIN CITY STANDARD SPECIFICATIONS AND DRAWINGS. SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF THE PUBLIC IMPROVEMENTS; INCLUDING GPS COORDINATES AND ELEVATIONS FOR UTILITIES.
- 2) ALL CONSTRUCTION IS TO BE DONE AS PER EAGLE MOUNTAIN CITY STANDARD SPECIFICATIONS AND DRAWINGS.
- 3) CONTRACTOR TO ENSURE ALL ADA REQUIREMENTS ARE MET AND CONSTRUCTED IN ACCORDANCE WITH EAGLE MOUNTAIN CITY STANDARD SPECIFICATIONS AND DRAWINGS.
- 4) PRIOR TO COMMENCEMENT OF ANY WORK, A PRECONSTRUCTION MEETING WILL BE HELD WITH THE EAGLE MOUNTAIN CITY STAFF, THE CONTRACTOR, ALL SUBCONTRACTORS AND THE PROPERTY OWNER.

EAGLE MOUNTAIN CITY GENERAL NOTES:

SEWER-

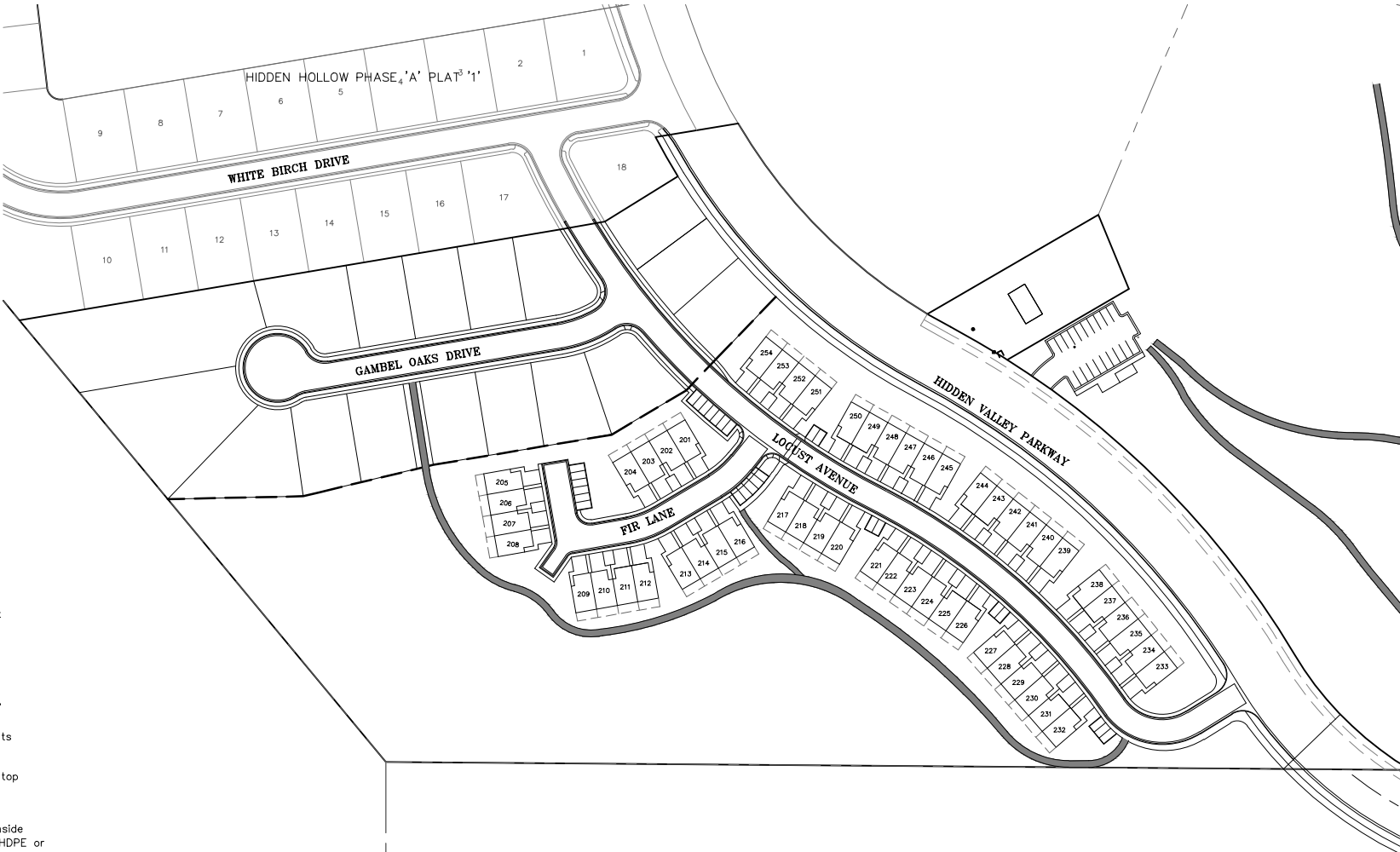
Pipe bedding: ¾"gravel required 6"below, on the sides & 12"above the pipe (minimum).
Depth : Sewer main/laterals to maintain 4' of cover (minimum) from finished grade, 3' minimum from top of pipe at time of installation.
Separation: sewer mains & laterals to maintain 10' separation (minimum) from culinary water mains & laterals.
Sewer Y's: 3' minimum separation between sewer Y's.
Lateral stubs: A) stubs must extend 15' into property and be marked with 2x4 painted B) All laterals must be GIS (shot in) at the Y's and stubs. Also slopes (2% min. on 4"pipe) to be checked before backfill.
Manholes: manholes to be within 1' of finished grade. 12" of grade rings (max) and no flat rings allowed. 12"of ¾"gravel required under manholes/boxes.

WATER-

Valves: 1. Valves must be flanged to tee's (fittings). 2. Valves 12"and larger to be butterfly valves.
Bedding: sand must meet AASHTO (A-3) gradation with 100% passing the #4 sieve. 6" below pipe on the sides & 12"above pipe (minimum).
Depth: water main & laterals must maintain 4' cover from finished grade (minimum), 3' minimum from top of pipe at time of installation. Max depth 72" from finished grade.
Services & Fittings: services & fittings to maintain 3' minimum separation from pipe joints and other fittings.
Setters: all setters to be 21"tall (minimum), have unions at the base and be dual check model, also ¾"setters to have double braces. Setters to be set at: 18"to 22"from the top of setter to top of lid. 21" inside diameter can HDPE.
Water can lid: all lids to say 'Eagle Mountain'on them recessed with a hole for the ERT and to be set at level to 1"above the plane of the curb & sidewalk.
Water Can: the water can for 3/4" & 1" services will need to be 21" tall minimum and inside diameter. Water can for 1-1/2" to 2" service will need to be a 36" inside diameter can HDPE or follow APWA specifications.
Hydrants: hydrants to be 5' bury (minimum).
Laterals: all laterals need to be GIS (shot in) at the corp. stop & setter, and also visual inspection on poly inserts before backfill. Water laterals to extend 15' into property and be marked with a 2x4 painted blue. All poly lines to have visual poly insert inspection.
Tracer wire: run tracer wire along main & extend up setters and hydrants, do not run up valve boxes.
Water fittings: all water fittings to be checked for thrust blocks (pre &post) and GIS (shot before backfill.
Vertical separation: water main to maintain 12"minimum separation from storm drain or other obstacles/utilities.
Water line fittings: all fittings to have mega-lug followers.
Water Main Line: NO DEFLECTION or bending of pipe will be allowed in the water lines and bend fittings will be required. All fittings to be Mega-lug fittings.

STORM DRAIN-

Bedding: ¾"gravel 6"below and on sides of pipe & 12"above pipe (minimum).
ADS: all ADS pipe to be 'HP'brand.
Collars: collars to be 1'x1' around pipe, 4000 psi concrete, inspection is needed pre & and post collar pour.
Man holes: manholes to be within 1' of finished grade. 12" of grade rings (max) and no flat rings allowed. 12"of ¾"gravel required under manholes/boxes
ROAD SECTION-
Proof rolls: proof roll required on all sections of road: i.e. sub-grade, sub-base, and curb base and road base. Curb stakes required for sub-grade inspection and string line required for sub-base and road base inspection.
UTBC: state spec. road base required for all roads, commercial base acceptable for the sidewalks & trails.
Collars: all collars to be 1' wide by 1' deep with a 6000 psi concrete with 1.5# fiber mesh per cubic yard (3/4"monofilament) required for all street collars, Manhole covers and water valve towers to be ½"down from asphalt edge and concrete to be ¾"to 3/8"down from asphalt edge.

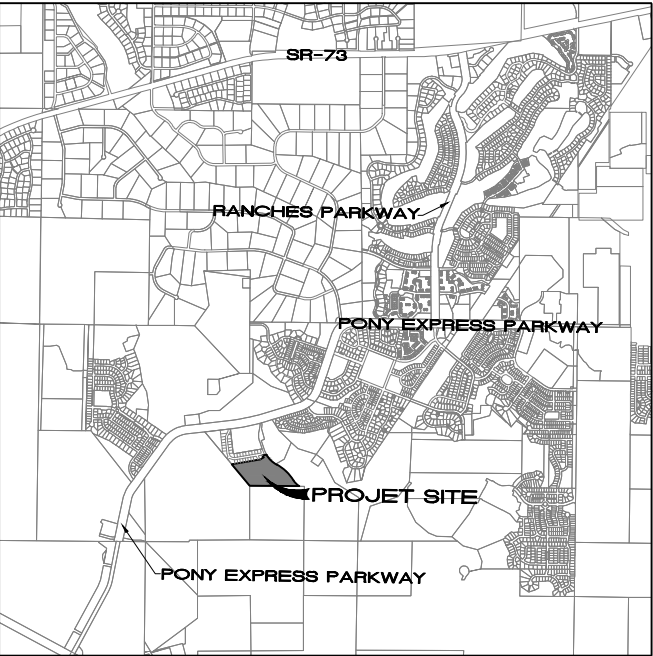


SITE MAP
NTS



SHEET INDEX

SHEET NO.	SHEET NAME
1	COVER SHEET
2	SITE/UTILITY PLAN
3	GRADING & DRAINAGE PLAN
4	PLAN & PROFILE HIDDEN VALLEY PARKWAY
5	PLAN & PROFILE LOCUST AVENUE
6	PLAN & PROFILE GAMBEL OAKS DRIVE & FIR LANE
LP-1.0-2.5	LANDSCAPE PLAN



VICINITY MAP

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS THE LINE BETWEEN THE NORTH QUARTER CORNER AND THE SOUTH QUARTER CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, WHICH BEARS SOUTH 00°03'34" EAST TAKEN FROM THE STATE PLANE COORDINATE & DEPENDENT RESURVEY PLAT FOUND AT THE UTAH COUNTY SURVEYORS OFFICE. (NAD 83)

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

TRANE ENGINEERING, P.C.

CONSULTING ENGINEERS AND LAND SURVEYORS

27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

DESIGNED BY: TGT

DRAWN BY: TT

CHECK BY: TGT

DATE: 09/01/18

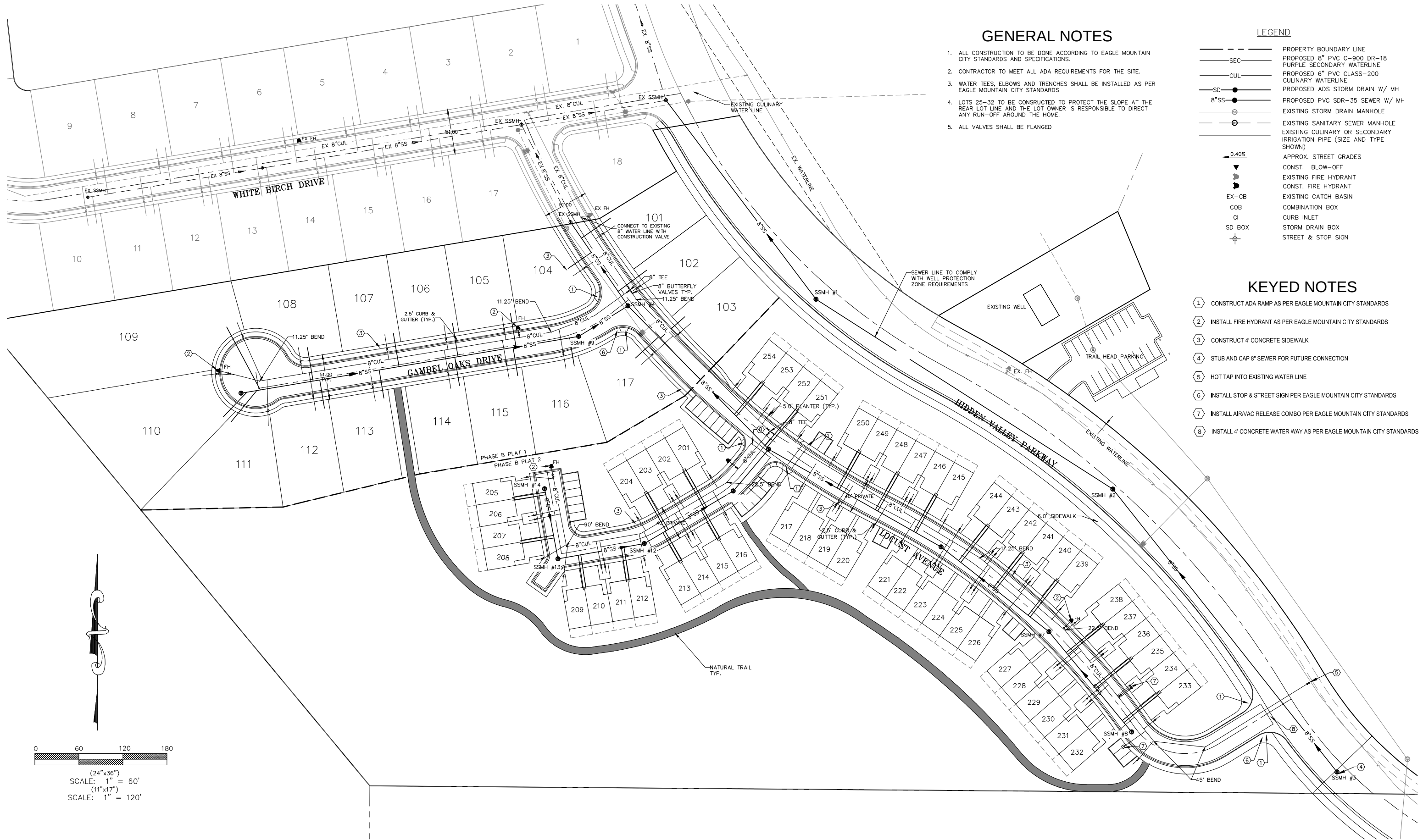
CDGD FILE:

EAGLE MOUNTAIN
UTAH

HIDDEN HOLLOW
PLAT 'B' PHASE '1'

COVER SHEET

JOB
RYAN
SHEET NO.
1



GENERAL NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO EAGLE MOUNTAIN CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO MEET ALL ADA REQUIREMENTS FOR THE SITE.
3. WATER TEES, ELBOWS AND TRENCHES SHALL BE INSTALLED AS PER EAGLE MOUNTAIN CITY STANDARDS
4. LOTS 25-32 TO BE CONSTRUCTED TO PROTECT THE SLOPE AT THE REAR LOT LINE AND THE LOT OWNER IS RESPONSIBLE TO DIRECT ANY RUN-OFF AROUND THE HOME.
5. ALL VALVES SHALL BE FLANGED

LEGEND

- PROPERTY BOUNDARY LINE
- SEC --- PROPOSED 8" PVC C-900 DR-18 PURPLE SECONDARY WATERLINE
- CUL --- PROPOSED 6" PVC CLASS-200 CULINARY WATERLINE
- SD --- PROPOSED ADS STORM DRAIN W/ MH
- 8"SS --- PROPOSED PVC SDR-35 SEWER W/ MH
- EXISTING STORM DRAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CULINARY OR SECONDARY IRRIGATION PIPE (SIZE AND TYPE SHOWN)
- 0.40% --- APPROX. STREET GRADES
- CONST. BLOW-OFF
- EXISTING FIRE HYDRANT
- CONST. FIRE HYDRANT
- EX-CB --- EXISTING CATCH BASIN
- COB --- COMBINATION BOX
- CI --- CURB INLET
- SD BOX --- STORM DRAIN BOX
- STREET & STOP SIGN

KEYED NOTES

1. CONSTRUCT ADA RAMP AS PER EAGLE MOUNTAIN CITY STANDARDS
2. INSTALL FIRE HYDRANT AS PER EAGLE MOUNTAIN CITY STANDARDS
3. CONSTRUCT 4' CONCRETE SIDEWALK
4. STUB AND CAP 8" SEWER FOR FUTURE CONNECTION
5. HOT TAP INTO EXISTING WATER LINE
6. INSTALL STOP & STREET SIGN PER EAGLE MOUNTAIN CITY STANDARDS
7. INSTALL AIR/VAC RELEASE COMBO PER EAGLE MOUNTAIN CITY STANDARDS
8. INSTALL 4' CONCRETE WATER WAY AS PER EAGLE MOUNTAIN CITY STANDARDS

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

DESIGNED BY:	TGT
DRAWN BY:	TT
CHECK BY:	TGT
DATE:	09/01/18
CDGD FILE:	

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

EAGLE MOUNTAIN
UTAH

HIDDEN HOLLOW
PLAT 'B' PHASE '1'

SITE/UTILITY PLAN

JOB
RYAN
SHEET NO.
2

STORM WATER MANAGEMENT PLAN

1. THE CONTRACTOR IS TO FOLLOW THE BMP DETAILS AS OUTLINED AND ACCORDING TO EAGLE MOUNTAIN CITY STANDARDS.
2. CONTRACTOR SHALL TAKE REASONABLE EFFORT TO LIMIT MUD AND SEDIMENT CARRIED ONTO CITY STREETS FROM THE CONSTRUCTION SITE AND REMOVE ANY PRIOR TO THE CLOSE OF EACH WORK DAY.
3. CONTRACTOR TO COORDINATE CONSTRUCTION FENCING.

INLET PROTECTION

1. INSTALL SILT FENCE OR STRAW WATTLES SEDIMENT BARRIER OR EQUIVILANT MEASURE AROUND STORM DRAIN INLETS.
2. INSPECT INLET PROTECTION AFTER STORM EVENT.
3. UPON COMPLETION OF CURB AND GUTTER, PROTECT INLETS WITH FILTER FABRIC AND COURSE GRAVEL OR EQUIVALENT MEASURE.

STORAGE AREA

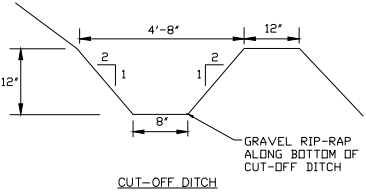
1. CONTROL STORAGE OF ONSITE MATERIALS TO A DESIGNATED AREA WITH NO DRAINAGE OR WATERWAYS NEARBY.
2. ENSURE ALL ONSITE PERSONNEL UTILIZE DESIGNATED STORAGE AREA. DO NOT STORE EXCESSIVE AMOUNTS OF MATERIALS THAT WILL NOT BE UTILIZED ON SITE.
3. COVER MATERIALS WHEN OUTSIDE THE STORAGE AREA OR WHEN NOT IN USE AND PROTECT STORM DRAIN SYSTEM WHEN IN USE.

CONSTRUCTION ENTRANCE

1. CONSTRUCTION ENTRANCE TO BE INSTALLED WITH CRUSHED STONE AT A LOCATION WHERE TRUCKS LEAVE THE SITE TO A PAVED SURFACE.
2. PROVIDE BERMING AT WASH AREA AS NEEDED TO PREVENT SOIL LADEN WASH WATER FROM ENTERING THE STORM WATER FACILITIES.
3. GRAVEL AREA TO BE OF SUFFICIENT SIZE TO ACCOMMODATE THE TRAFFIC.

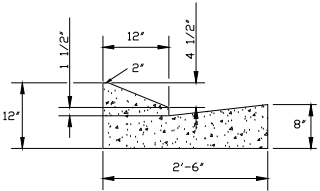
GENERAL NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO EAGLE MOUNTAIN CITY STANDARDS AND SPECIFICATIONS.
2. CURB AND GUTTER TO BE A REVERSE LIP WHERE ASPHALT SLOPE IS AWAY FROM CURB. WHERE ASPHALT SLOPES TOWARD CURB, USE AS STANDARD CURB (SEE DETAILS).
3. PERMANENT DETENTION FACILITIES TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS AND ARE NOT TO BE ALTERED WITHOUT APPROVAL BY EAGLE MOUNTAIN CITY COUNCIL AND CITY ENGINEER.
4. CONTRACTOR TO MEET ALL ADA REQUIREMENTS FOR THE SITE.
5. WATER TEES, ELBOWS AND TRENCHES SHALL BE INSTALLED AS PER EAGLE MOUNTAIN CITY STANDARDS



CUT-OFF DITCH

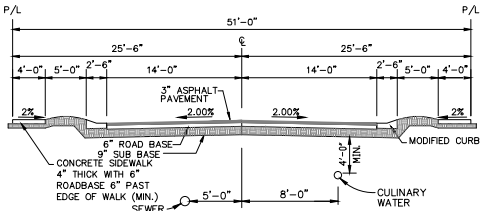
-NTS-



MODIFIED CURB & GUTTER

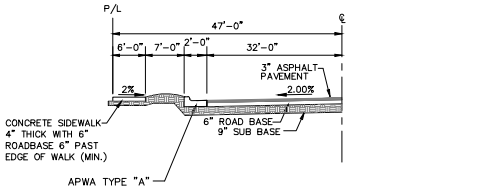
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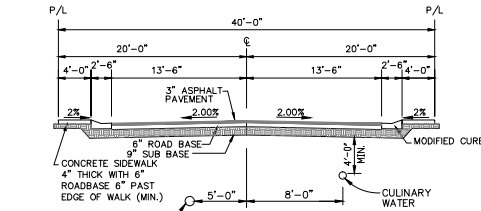
51' RIGHT-OF-WAY TYPICAL STREET SECTION

-NTS-



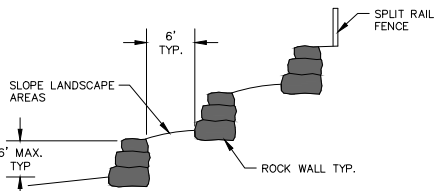
47' RIGHT-OF-WAY TYPICAL STREET SECTION

-NTS-



40' RIGHT-OF-WAY TYPICAL STREET SECTION

-NTS-



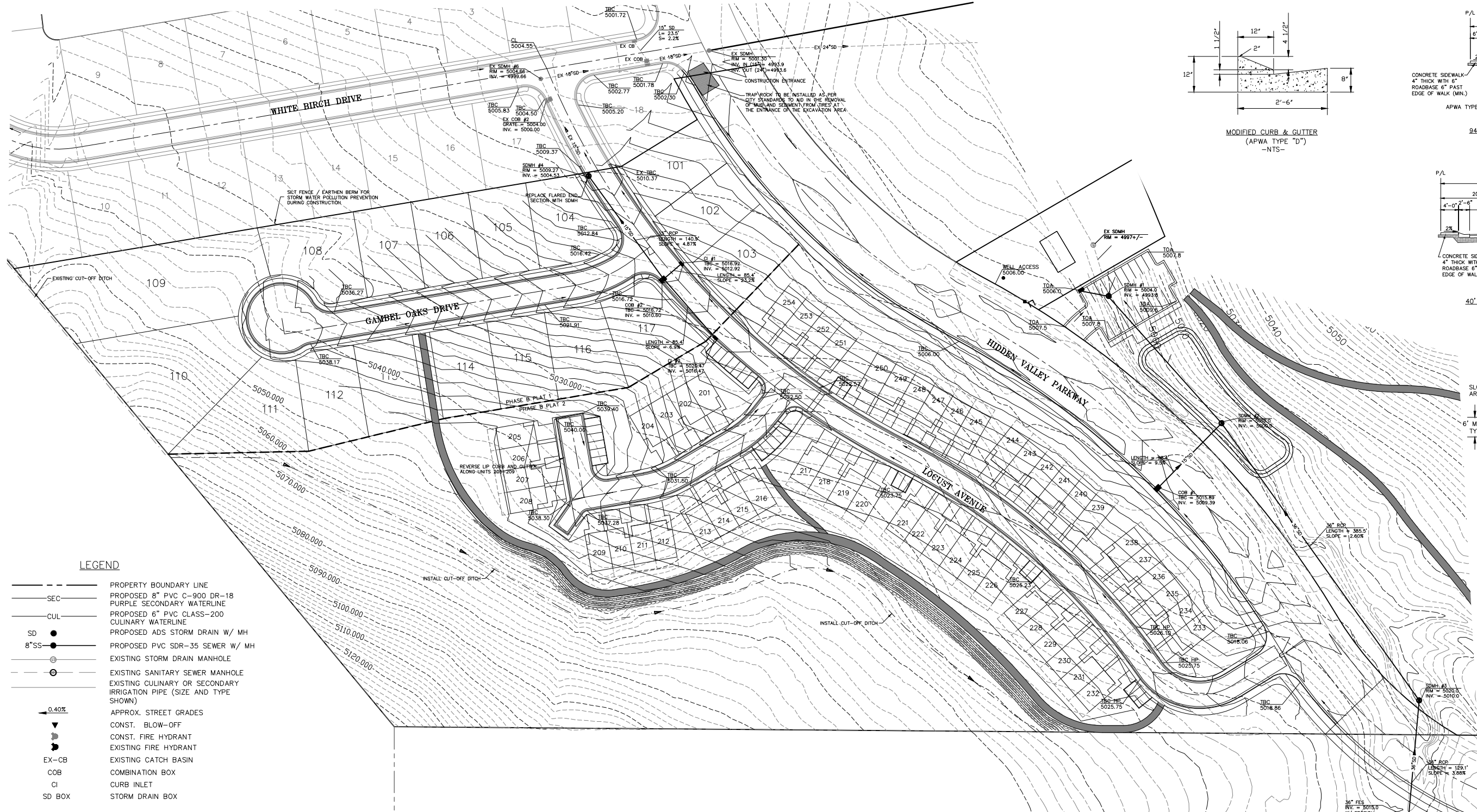
LANDSCAPE ROCK WALL

-NTS-

NOTE: COORDINATE WITH GEOTECHNICAL REPORT ON CONSTRUCTION OF ROCK WALL



(24"x36")
SCALE: 1" = 60'
(11"x17")
SCALE: 1" = 120'



LEGEND

- PROPERTY BOUNDARY LINE
- SEC --- PROPOSED 8" PVC C-900 DR-18
- CUL --- PROPOSED 6" PVC CLASS-200
- SD ● PROPOSED ADS STORM DRAIN W/ MH
- 8"SS ● PROPOSED PVC SDR-35 SEWER W/ MH
- ⊕ EXISTING STORM DRAIN MANHOLE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- EXISTING CULINARY OR SECONDARY IRRIGATION PIPE (SIZE AND TYPE SHOWN)
- 0.40% APPROX. STREET GRADES
- ▼ CONST. BLOW-OFF
- CONST. FIRE HYDRANT
- EXISTING FIRE HYDRANT
- EX-CB EXISTING CATCH BASIN
- COB COMBINATION BOX
- CI CURB INLET
- SD BOX STORM DRAIN BOX

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

DESIGNED BY:	TGT
DRAWN BY:	TT
CHECK BY:	TGT
DATE:	09/01/18
CGO FILE:	

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TRANE ENGINEERING, P.C.

CONSULTING ENGINEERS AND LAND SURVEYORS

27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

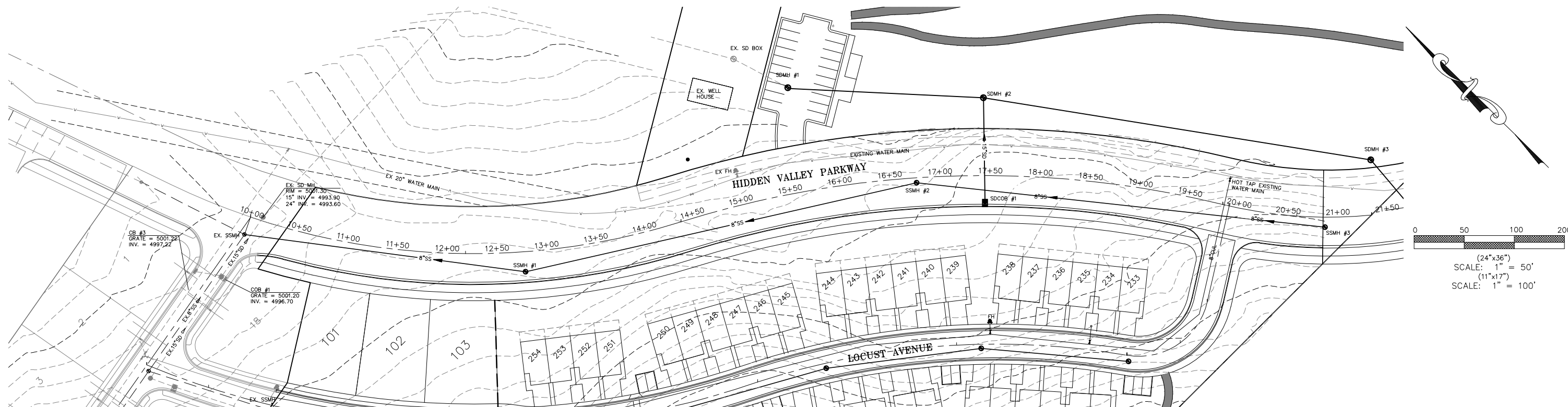
EAGLE MOUNTAIN
UTAH

HIDDEN HOLLOW
PLAT 'B' PHASE '1'

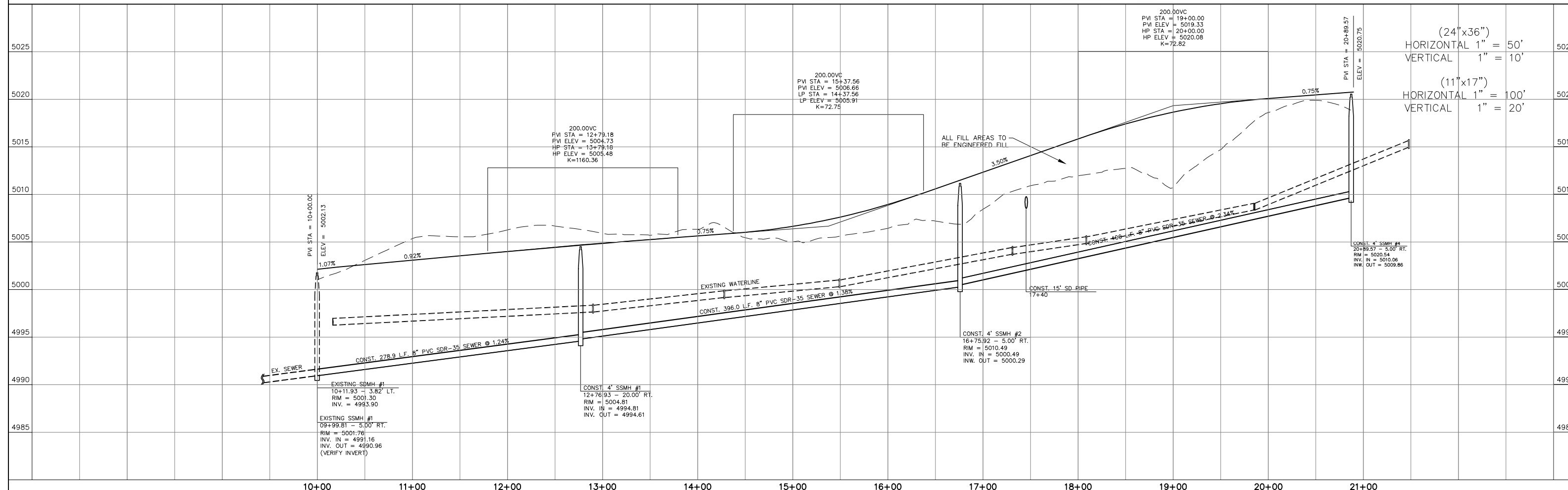
GRADING AND DRAINAGE PLAN

JOB
RYAN

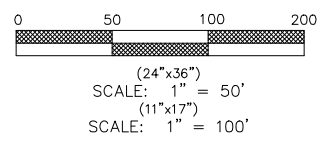
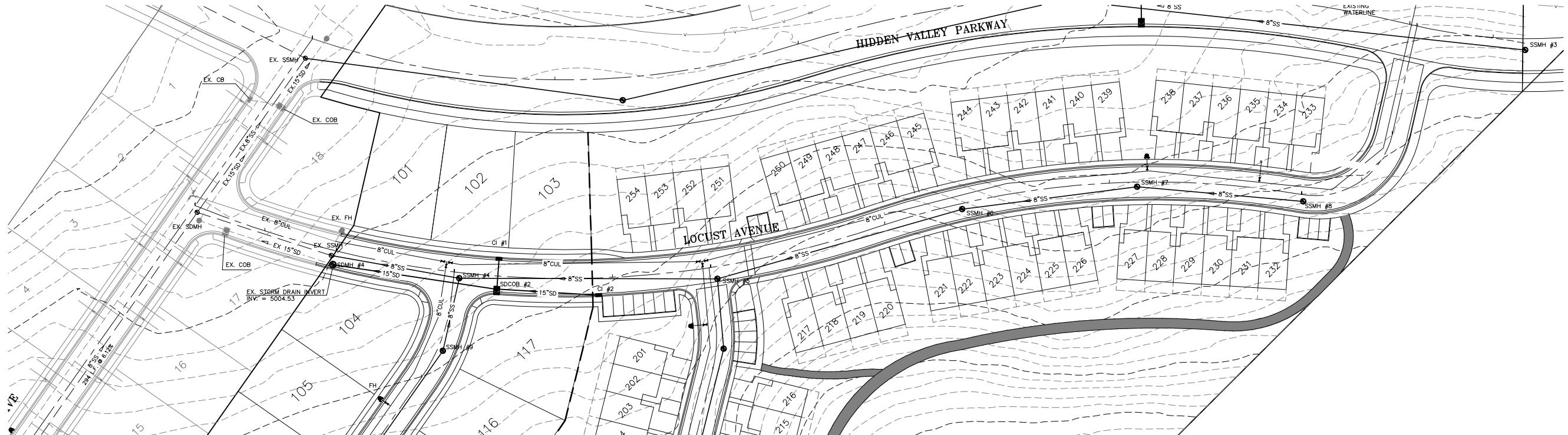
SHEET NO.
3



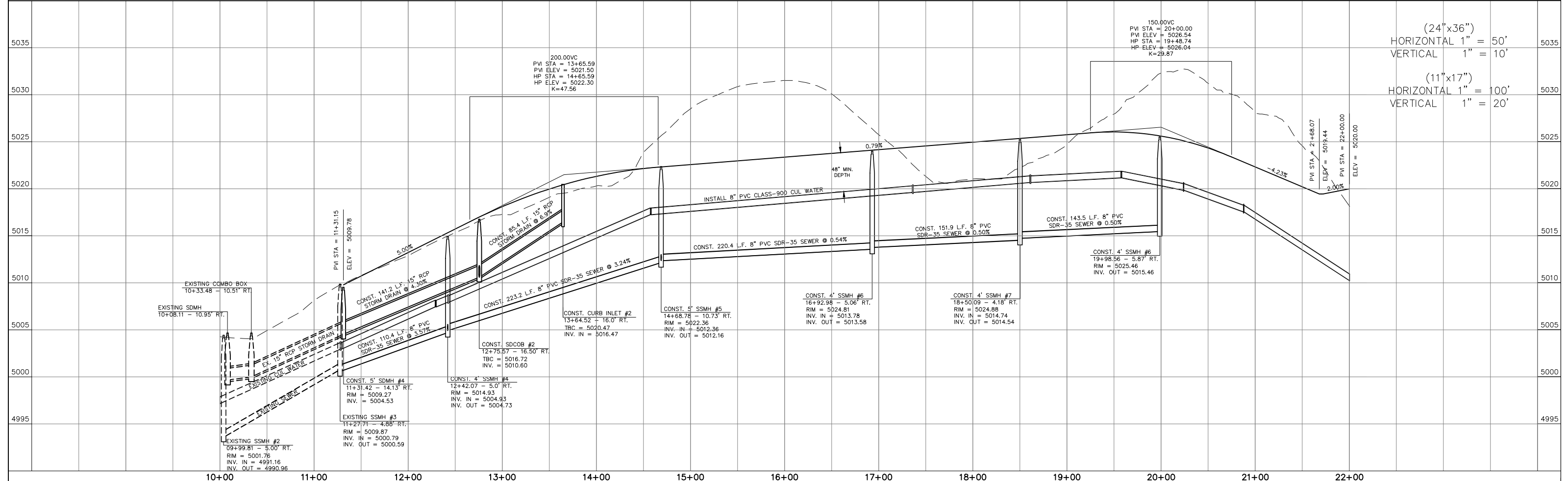
HIDDEN VALLEY PARKWAY



REVISIONS				TRANE ENGINEERING, P.C. CONSULTING ENGINEERS AND LAND SURVEYORS 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544		EAGLE MOUNTAIN UTAH	HIDDEN HOLLOW PHASE 'B' PLAT '1'	HIDDEN VALLEY PARKWAY PLAN AND PROFILE	JOB RYAN		
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2									CHECK BY:	TGT	
3									DATE:	06/28/17	
4				CDWG FILE:							
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LOCUST AVENUE

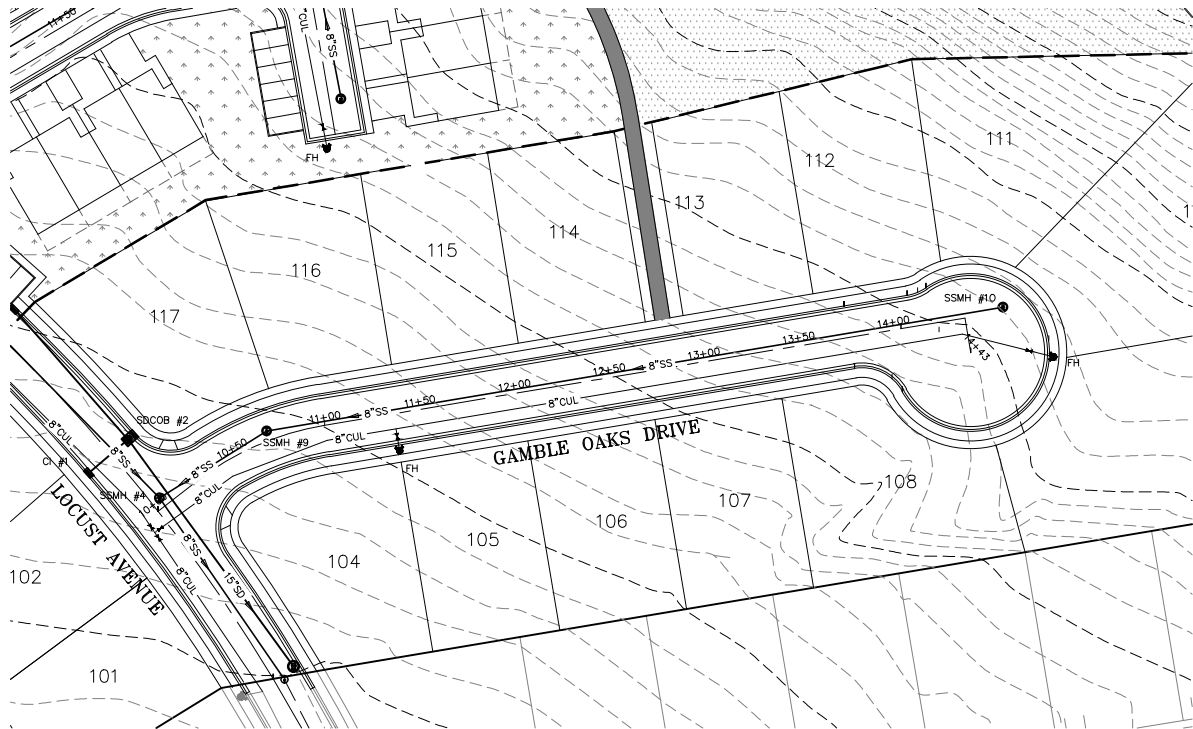


(24"x36")
HORIZONTAL 1" = 50'
VERTICAL 1" = 10'

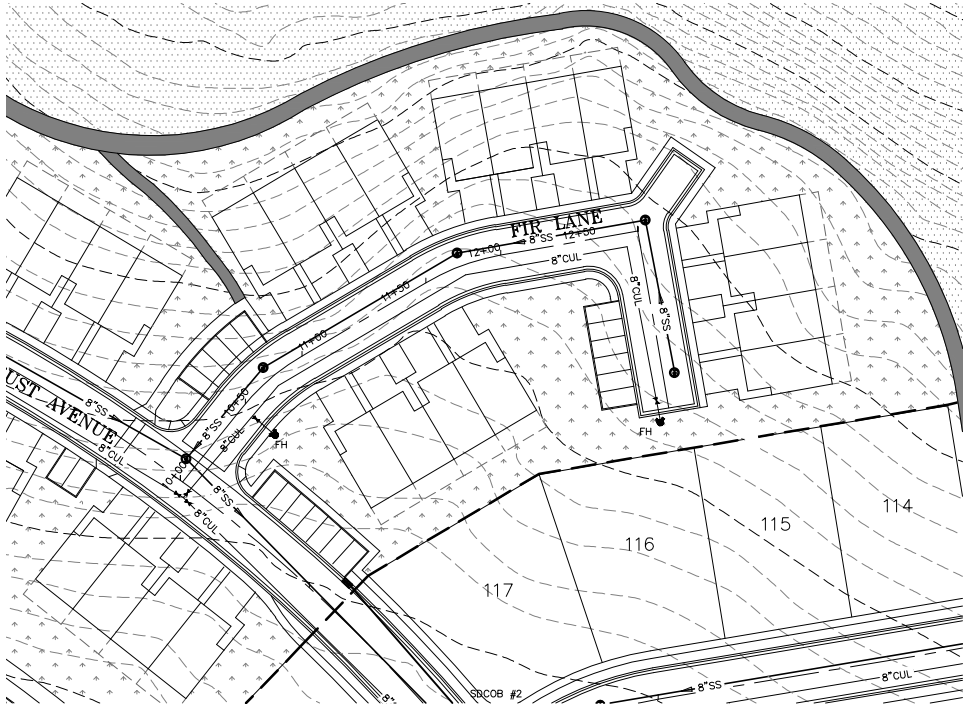
(11"x17")
HORIZONTAL 1" = 100'
VERTICAL 1" = 20'

REVISIONS							
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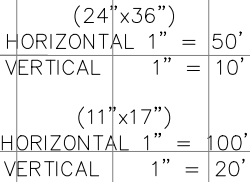
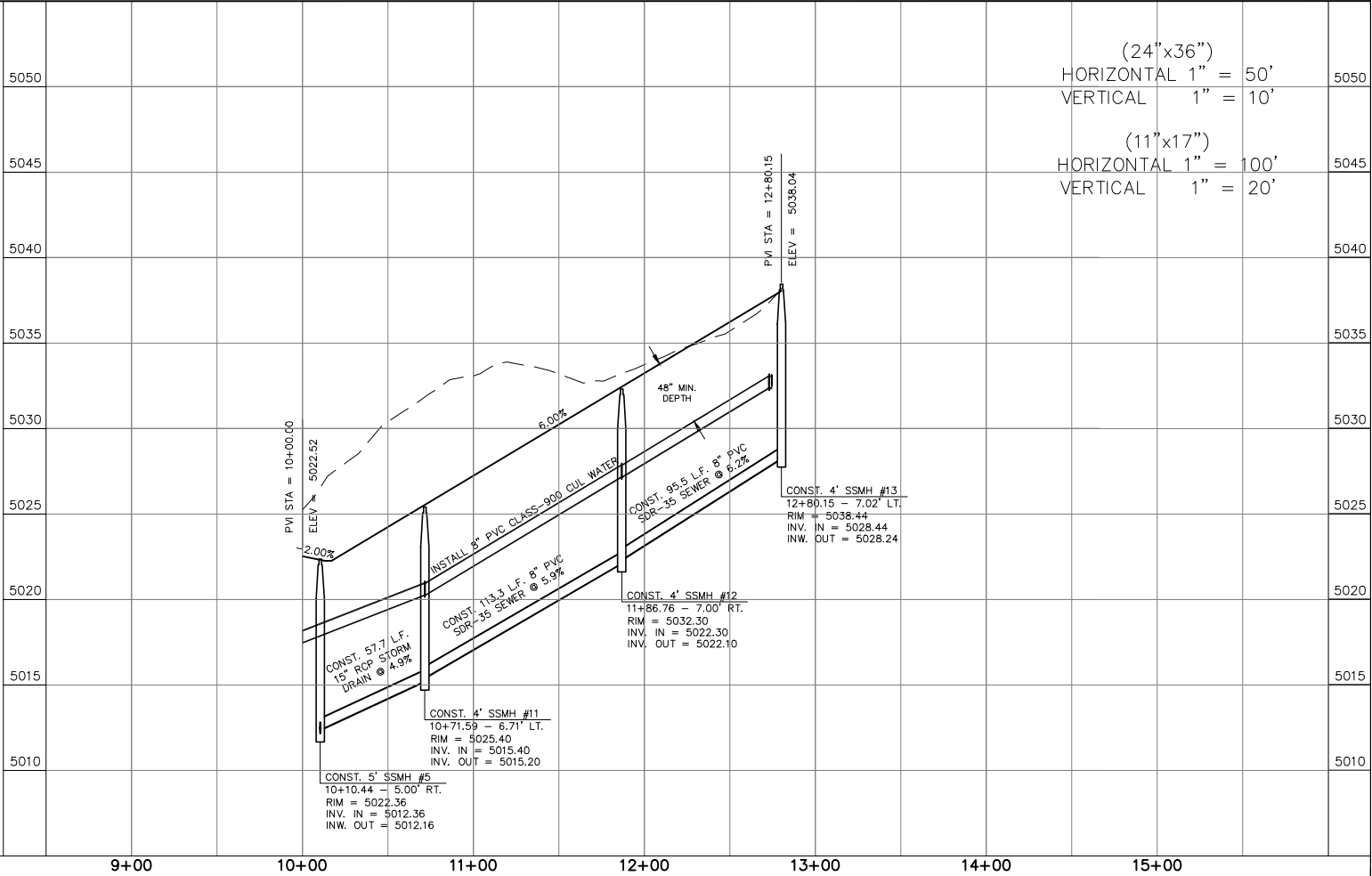
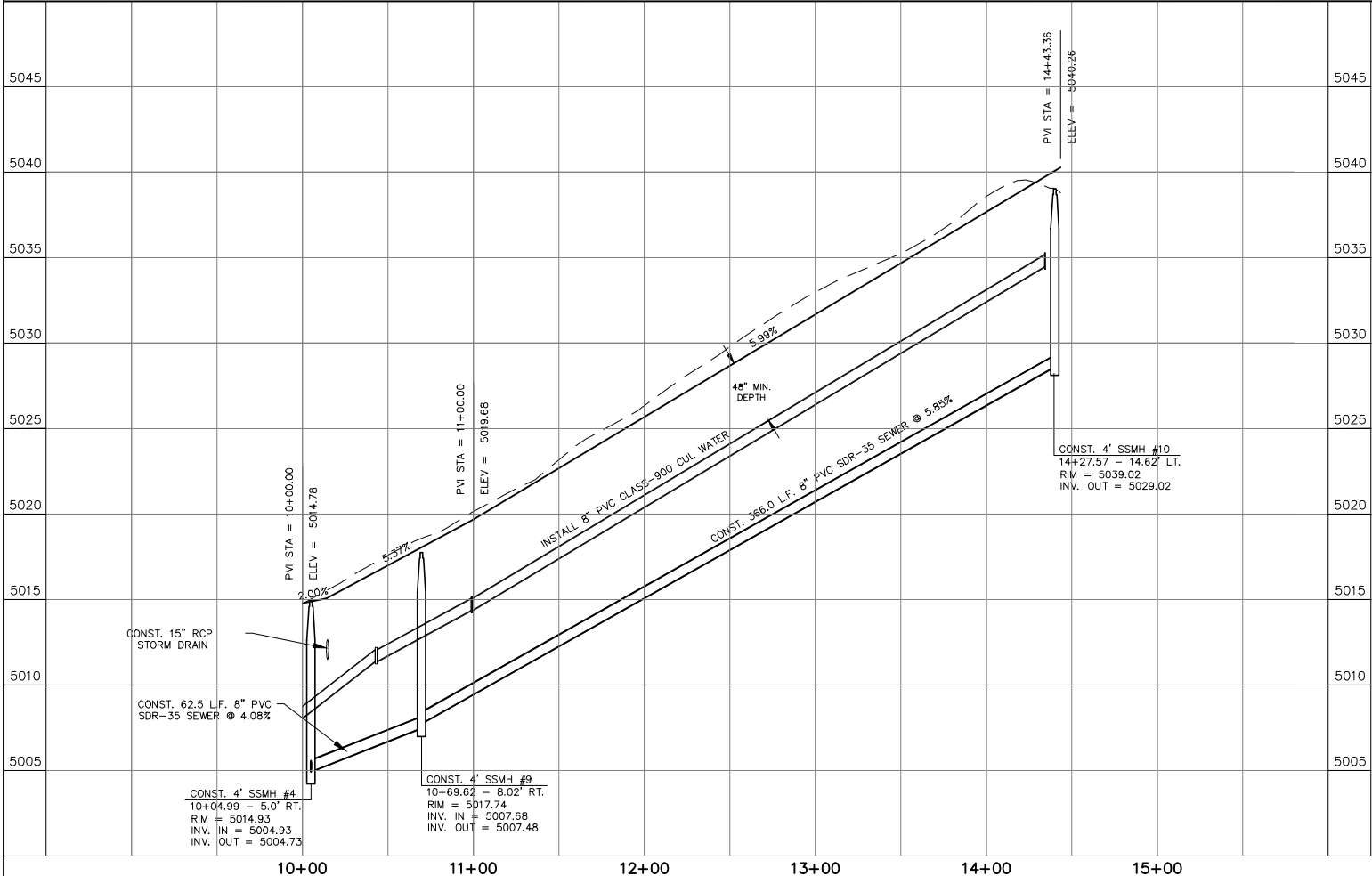
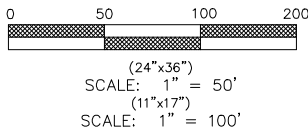
TRANE ENGINEERING, P.C. CONSULTING ENGINEERS AND LAND SURVEYORS 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544				EAGLE MOUNTAIN UTAH		HIDDEN HOLLOW PHASE 'B' PLAT '1'		LOCUST AVENUE PLAN AND PROFILE		JOB RYAN	
										SHEET NO. 5	



GAMBEL OAKS DRIVE



FIR LANE



c. Reinforced fiber - Specifically produced for compatibility with aggressive alkaline environment of Portland cement-based composites.

d. Only potable water for mixing.

PART III - EXECUTION

3.1 GRADING

A. Topsoil Preparation: Grade planting areas according to the grading plan. Eliminate uneven areas and low spots. Provide for proper grading and drainage.

B. Topsoil Placement: Slope surfaced away from building at two (2) percent slope with no pockets of standing water. Establish finish grades of one (1) inches for planters below grade of adjacent paved surface. Provide neat, smooth, and uniform finish grades. Remove surplus sub-soil and topsoil from the site.

C. Compaction: compaction under hard surface areas (asphalt paths and concrete surfaces) shall be ninety-five (95) percent. Compaction under planting areas shall be between eighty-five (85) and ninety (90) percent.

3.2 TURF GRADING

A. The surface on which the sod is to be laid shall be firm and free from footprints, depressions, or undulations of any kind. The surface shall be free of all materials larger than 1/2" in diameter.

B. The finish grade of the topsoil adjacent to all sidewalks, mow-strips, etc. prior to the laying of sod, shall be set such that the crown of the grass shall be at the same level as the adjacent concrete or hard surface. No exceptions.

3.3 PLANTING OPERATIONS

A. Review the exact locations of all trees and shrubs with the Project Representative for approval prior to the digging of any holes. Prepare all holes according to the details on the drawings.

B. Water plants immediately upon arrival at the site. Maintain in moist condition until planted.

C. Before planting, locate all underground utilities prior to digging. Do not place plants on or near utility lines.

D. The tree planting hole should be the same depth as the root ball, and three times the diameter of the root ball.

E. Trees must be placed on undisturbed soil at the bottom of the planting hole.

F. The tree hole depth shall be determined so that the tree may be set slightly high of finish grade, 1" to 2" above the base of the trunk flare, using the top of the root ball as a guide.

G. Plant immediately after removal of container for container plants.

H. Set tree on soil and remove all burlap, wire baskets, twine, wrappings, etc. before beginning and backfilling operations. Do not use planting stock if the ball is cracked or broken before or during planting operation.

I. Apply vitamin B-1 root stimulator at the rate of one (1) tablespoon per gallon.

J. Upon completion of backfilling operation, thoroughly water tree to completely settle the soil and fill any voids that may have occurred. Use a watering hose, not the area irrigation system. If additional prepared topsoil mixture needs to be added. It should be a coarser mix as required to establish finish grade as indicated on the drawings.

K. The amount of pruning shall be limited to the minimum necessary to remove dead or injured twigs and branches. All cuts, scars, and bruises shall be properly treated according to the direction of the Project Representative. Proper pruning techniques shall be used. Do not leave stubs and do not cut the leader branch. Improper pruning shall be cause for rejection of the plant material.

L. Prepare a watering circle of 2' diameter around the trunk. For conifers, extend the watering well to the drip line of the tree canopy. Place mulch around the planted trees.

3.4 TURF - SOD LAYING

A. Top Soil Amendments: Prior to laying sod, commercial fertilizer shall be applied and incorporated into the upper four (4) inches of the topsoil at a rate of four pounds of nitrogen per one thousand (1,000) square feet. Adjust fertilization mixture and rate of application as needed to meet recommendations given by topsoil analysis. Include other amendments as required.

B. Fertilization: Three weeks after sod placement fertilize the turf at a rate of 1/4 pound of nitrogen per 1000 square feet. Use fertilizer specified above. Adjust fertilization mixture and rates to meet recommendations given by topsoil analysis.

C. Sod Availability and Condition: The Contractor shall satisfy himself as to the existing conditions prior to any construction. The Contractor shall be fully responsible for furnishing and lay all sod required on the plans. He shall furnish new sod as specified above and lay it so as too completely satisfy the intent and meaning of the plans and specification at no extra cost to the owner. In the case of plans and specification at no extra cost to the owner. In the case of any discrepancy in the amount of sod to be removed or amount to be used, it shall be the Contractor's responsibility to report such to the Project Representative prior to commencing the work.

D. Sod Laying: The surface upon which the new sod to be laid will be prepared as specified above. Areas where sod is to be laid shall be cut trimmed, or shaped to receive full width sod (minimum twelve (12) inches). No partial strip or pieces will be accepted.

E. Sod shall be tamped lightly as each piece is set to insure that good contact is made between edges and also the ground. Sod laid on any sloped areas shall be anchored with wooden dowels or other materials which are accepted by the grass sod industry.

F. Apply water directly after laying sod. Rainfall is not acceptable.

G. Watering of the sod shall be the complete responsibility of the Contractor by whatever means necessary to establish the sod in an acceptable manner to the end of the Maintenance period. If an irrigation system is in place on the site, but for whatever reason, water is not available in the system. It is the responsibility of the Contractor to water the sod by whatever means, until the sod is accepted by the Project Representative.

H. Protection of the newly laid sod shall be the complete responsibility of the Contractor. The Contractor shall provide acceptable visual barriers, to include barricades set appropriate distances with stripes or tapes between barriers, as an indication of new work. The Contractor is to restore any damaged areas caused by others (including vehicular traffic), erosion, etc, until such time as the lawn is accepted by the Owner.

I. All sod that has not been laid within 24 hours shall be deemed unacceptable and will be removed from the site.

3.5 WEED BARRIER

A. Cut a slit or x at each plant location no larger than necessary to install plant.

B. Overlap rows of fabric min. 6"

C. Stable fabric edges and overlaps to ground.

END OF SECTION

SITE CALCULATIONS

DEVELOPMENT NOTES:	
CALCULATIONS:	
DEVELOPED AREA PLAT 1	16.59 ACRES
LANDSCAPE REQ'D	1.72 ACRES
REQUIRED POINTS	172 POINTS
PROVIDED:	
IMPROVED OPEN SPACE	1.85 ACRES
NATURAL OPEN SPACE	5.72 ACRES
WELL SITE	0.44 ACRES

THE POINT ARE DEFINED IN THE PARKS AND OPEN SPACE WORKSHEET.

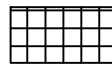
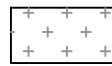
LANDSCAPE NOTES:

- SEE LANDSCAPE SPECIFICATION SECTION 4.17 FOR TREE, SHRUB AND MATERIAL LISTS.
- SEE SPECIFICATIONS FOR SURFACE AND DRIP IRRIGATION SYSTEMS, INCLUDING DRIP IRRIGATION FOR TREES AND SHRUBS, INCLUDING AS A PART OF CITY OWNED OPEN SPACE, TRAILS, PARK STRIPS, ETC., TO BE INSTALLED. ALL IRRIGATION SYSTEMS SHALL CONFORM WITH THE APWA STANDARDS AND SPECIFICATIONS, AND THE EAGLE MOUNTAIN CITY LANDSCAPE CONSTRUCTION STANDARDS)
- IRRIGATION SYSTEM TO BE CONSTRUCTED IN ACCORDANCE WITH SECTION 5.14 "IRRIGATION SYSTEM CONSTRUCTION".
- SEE SECTION 4.18.02 FOR ACCEPTABLE VALVES, HEADS, DRIP IRRIGATION AND QUICK COUPERS. ALL MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER TO BE USED.
- BACKFLOW PREVENTION DEVICE SHALL BE SELECTED FROM A LIST OF APPROVED DEVICES SET FORTH BY THE CITY WATER DEPARTMENT.
- DRIP SYSTEM TO BE RAIRBIRD XCZ-PRB-COM WITH 2 EMITTERS PER SHRUB (XB/PC) AND 3 EMITTERS PER TREE (DRIP RIR)

TREE LEGEND (TOTAL PLANT COUNT PHASE B)						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
GT'S	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	24	2" CAL.	LOW	
PN	PINUS NIGRA	AUSTRIAN PINE	5	6'-8" TALL	LOW	
AR'A	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	10	2" CAL.	LOW	

SHRUB/GRASSES LEGEND (TOTAL PHASE B)						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
CA'F	CALAMAGROSTIS A. 'FOERSTER'	FOERSTER FEATHER GRASS	1	1 GAL	HIGH	
MS'Y	MISCANTHUS SINENSIS 'YAKUSHIMA'	DWARF MAIDEN GRASS	41	1 GAL	HIGH	
R'NW	ROSA X 'NEARLY WILD'	NEARLY WILD ROSE	27	2 GAL	HIGH	
C'VM	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM THREADLEAF TICKSEED	50	1 GAL	LOW	

SITE MATERIALS (TOTAL PHASE B)

	LAWN AREA : LAWN AREAS SHALL BE SOD. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT(4") DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN SHREDDED BARK MULCH.	78,461 SQ.FT.
	3/4" OQUIRRH GRAVEL LOCATED WHERE SPECIFIED (DEWITT 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS) ALL TREES AND SHRUBS WITHIN MULCH AREAS SHALL BE WATERED WITH POINT-SOURCE DRIP IRRIGATION.	6,879 SQ.FT. (63 CU YD)
	2"-4" BROWN COLOR ROCK AREA: LOCATED WHERE SPECIFIED (DEWITT 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS) ALL TREES AND SHRUBS WITHIN MULCH AREAS SHALL BE WATERED WITH POINT-SOURCE DRIP IRRIGATION.	18,270 SQ.FT. (169 CU YD)
	UNDISTURBED NATIVE AREA : AREA TO BE LEFT UNDISTURBED AND NATURAL. IF AREAS ARE DISTURBED DURING CONSTRUCTION, THEY WILL NEED TO BE REPLANTED WITH THE FOLLOWING RANGELAND PLANT MIX: 20% SECAR BLUEBUNCH WHEATGRASS; 20% RADIANT ALFALFA; 10% IDAHO FESCUE; 10% BOTTLEBRUSH SQUIRRELTAIL; 10% TEKAPO ORCHARDGRASS; 10% BITTERBLUSH; 8% SHERMAN'S BIG BLUEGRASS; 5% GREEN NEEDLEGRASS; 2% PRAIRIE JUNGREGASS; 2% ARROWLEAF BALSAMROOT; 2% SICKLE KEELED LUPINE; 1% WESTERN YARROW (CONTACT SUNMARK SEEDS)	235,842 SQ.FT.
	BOULDERS	AMOUNT: 3

LANDSCAPE GENERAL NOTES

LANDSCAPER RESPONSIBILITIES AND LIABILITIES

1. THESE PLANS ARE FOR BASIC DESIGN LAYOUT AND INFORMATION. THE INSTALLER IS REQUIRED TO REFER TO THEIR INDIVIDUAL TRADE - MANUFACTURER OF WORK - OWNER ASSUMES NO LIABILITIES FOR INADEQUATE ENGINEERING CALCULATIONS, LANDSCAPE CONTRACTOR DEFECTS, INSTALLATION OF ANY LANDSCAPING AND COMPONENTS, OR TIME EXECUTION.

2. THE INSTALLER OF ALL LANDSCAPING AND IRRIGATION SYSTEMS ARE LIABLE AND RESPONSIBLE FOR ALL JURISDICTIONAL AND CODE REQUIREMENTS, TIME EXECUTIONS, AND INSTALLED PRODUCTS AND MATERIALS.

GRADING AND DRAINAGE REQUIREMENTS

1. ALL GRADE IS TO SLOPE AWAY FROM THE STRUCTURE PER CODE.
2. FINISHED GRADE IS NOT PERMITTED BY CODE TO DRAIN ON NEIGHBORING PROPERTIES
3. 6" MIN. FOUNDATION LEFT EXPOSED AT ALL CONDITIONS
4. LANDSCAPER TO MAINTAIN OR IMPROVE EXISTING FINAL GRADE AND PROPER DRAINAGE ESTABLISHED BY THE EXCAVATOR'S FINAL GRADE ACTIVITIES INCLUDING ANY MAINTENANCE, PRESERVATION, OR EXAGGERATION OF SLOPES, BERMS, AND SWALES.
5. IF A SWALE, BERM, OR GRADE HAS BEEN DAMAGED OR IS INCORRECT TO ENSURE CORRECT WATER FLOW THE TRADE CONTRACTOR IS RESPONSIBLE TO FIX STATED ISSUE.
6. ROOF RUN-OFF DEVICES SHOULD BE INSTALLED TO COLLECT AND DISCHARGE ALL ROOF RUNOFF A MINIMUM OF 10 FEET FROM FOUNDATION ELEMENTS OR BEYOND THE LIMITS OF BACKFILL AROUND THE FOUNDATION WALLS; WHICHEVER DISTANCE IS GREATER.
7. THE GROUND SURFACE WITHIN 10 FEET OF THE FOUNDATIONS SHOULD BE SLOPED TO DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM FALL OF 6 INCHES.

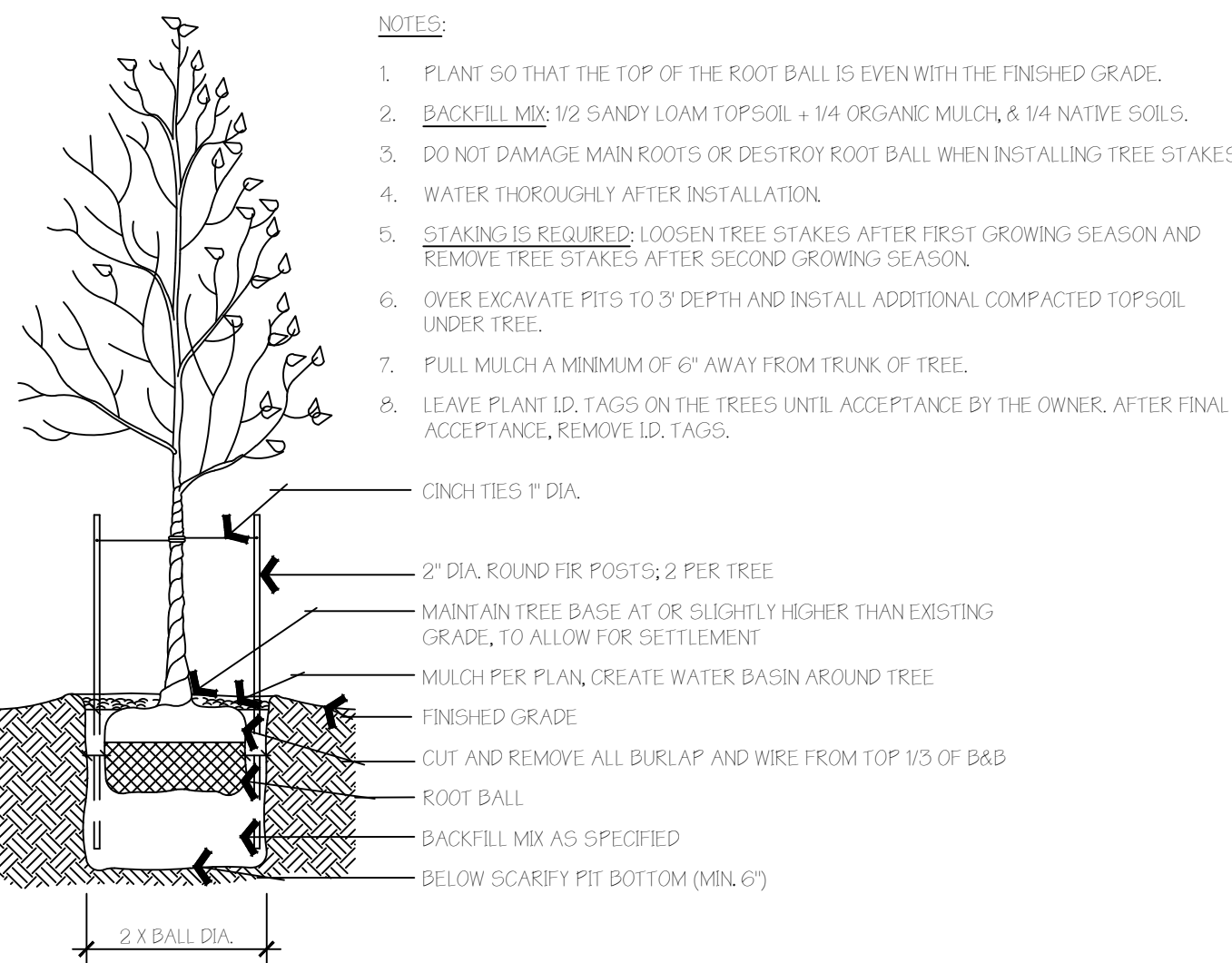
LANDSCAPING REQUIREMENTS

1. ALL LANDSCAPING IS TO BE INSTALLED PER ALL GOVERNING JURISDICTIONS I.E. INTERNATIONAL BUILDING CODE, CITY CODES.
2. NON-COMPLIANCE TO ALL GOVERNING JURISDICTION REQUIREMENTS AND REGULATION ARE THE RESPONSIBILITY OF THE LANDSCAPING INSTALLER.
3. ALL PLANTED LANDSCAPING IS TO BE INSTALLED ACCORDING TO THE NURSERY CARE AND INSTALLATION INSTRUCTIONS WHERE PURCHASED AND BASED ON INDIVIDUAL SOIL CONDITIONS AND SITE CONDITIONS.

LANDSCAPE NOTES

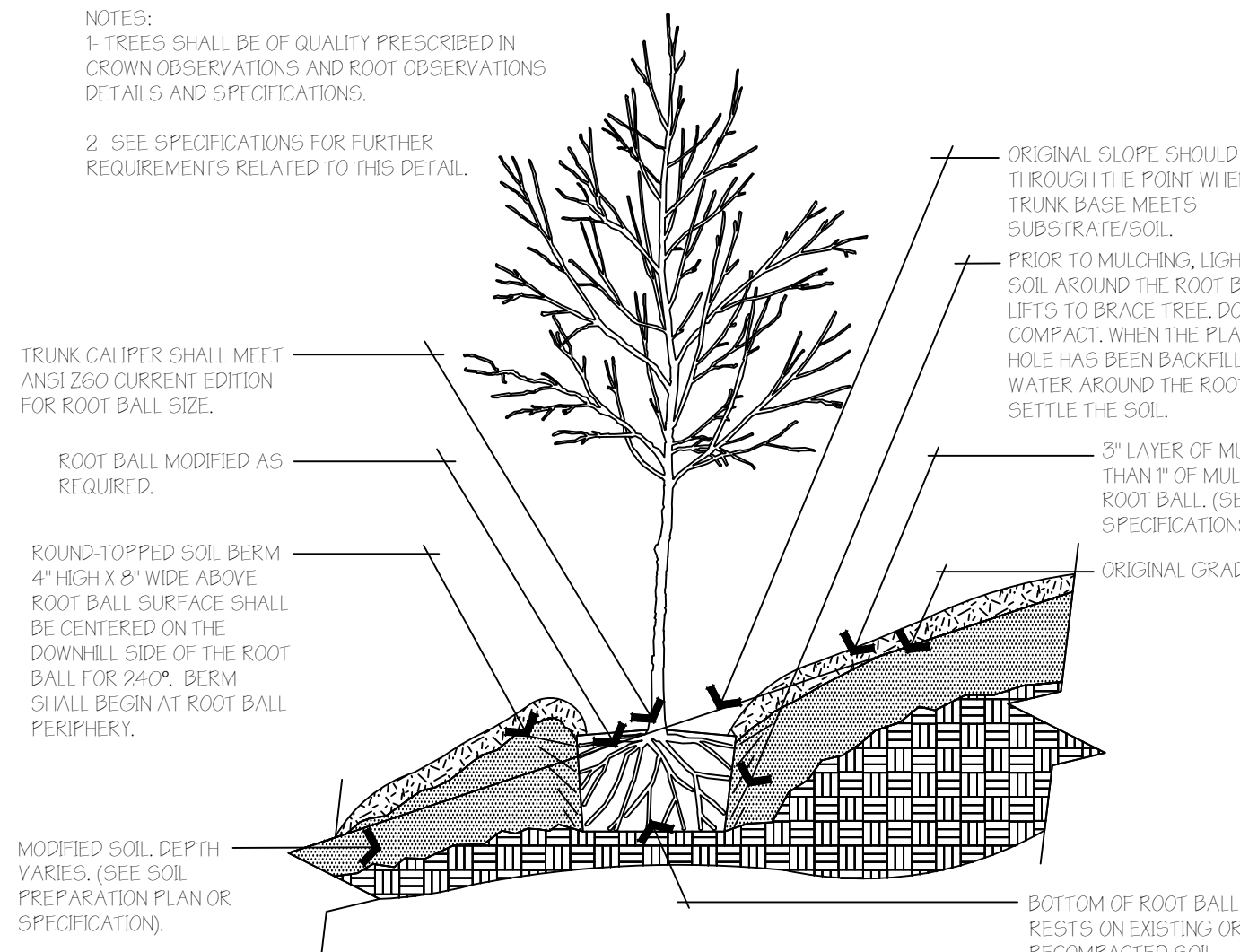
1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED.
2. PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. IF SUBSTITUTIONS ARE WANTED, PROPOSED LANDSCAPE CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
3. NEW LAWN AREAS TO BE SODDED WITH DROUGHT TOLERANT VARIETY. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
4. SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" TOPSOIL (WITH 2" HUMUS MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND/OR PLANTER BED MULCH TO REACH FINISHED GRADE.
5. 4"x6" EXTRUDED CONCRETE MOW CURB TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS PER PLAN. ANY TREES LOCATED IN LAWN MUST HAVE A 4" CONCRETE TREE RING.
6. DEWilt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER ANNUAL PLANTING AREAS AS SHOWN ON PLAN.
7. ROCK MULCH TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 3" IN ALL TREE, SHRUB, AND PERENNIAL PLANTER AREAS; ANNUAL PLANTING AREAS AS SHOWN ON PLAN TO RECEIVE 4" OF SOIL AID MATERIAL. PULL BARK MULCH MIN 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN 6" AWAY FROM ALL TREES.
8. CONTRACTOR TO PROVIDE NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED IN ALL LANDSCAPE AREAS. ALL LAWN AREA TO RECEIVE 100% HEAD TO HEAD COVERAGE WITH SPRAY AND ROTARY SPRINKLER HEADS. ALL PLANTER AREAS NEED TO RECEIVE A FULL DRIP SYSTEM TO EACH TREE AND SHRUB ON PROJECT. SEE IRRIGATION PLAN.

ISSUE DATE			PROJECT NUMBER			PLAN INFORMATION			PROJECT INFORMATION			DEVELOPER / PROPERTY OWNER / CLIENT			LANDSCAPE ARCHITECT / PLANNER			LICENSE STAMP					
07-29-2018			UT18048			811 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org N 0' 75' 150' 300' 600' GRAPHIC SCALE: 1" = 150'			HIDDEN HOLLOW PHASE B PLAT 1 EAGLE MOUNTAIN, UTAH			Developer / Property Owner: CADENCE HOMES 2801 NORTH THANKSGIVING WAY SUITE 100 LEHI, UT 84043 801.768.0500			Client / Engineer: TRANE ENGINEERING, P.C. CONSULTING ENGINEERS AND LAND SURVEYORS 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544			PKJ DESIGN GROUP PKJ DESIGN GROUP L.L.C. 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com			10696 JTA 10/18/2018 STATE OF UTAH PM: JTA DRAWN: KBA CHECKED: TM PLOT DATE: 9/18/2018 LANDSCAPE PLAN FINAL SUBMITTAL LP-1.0		
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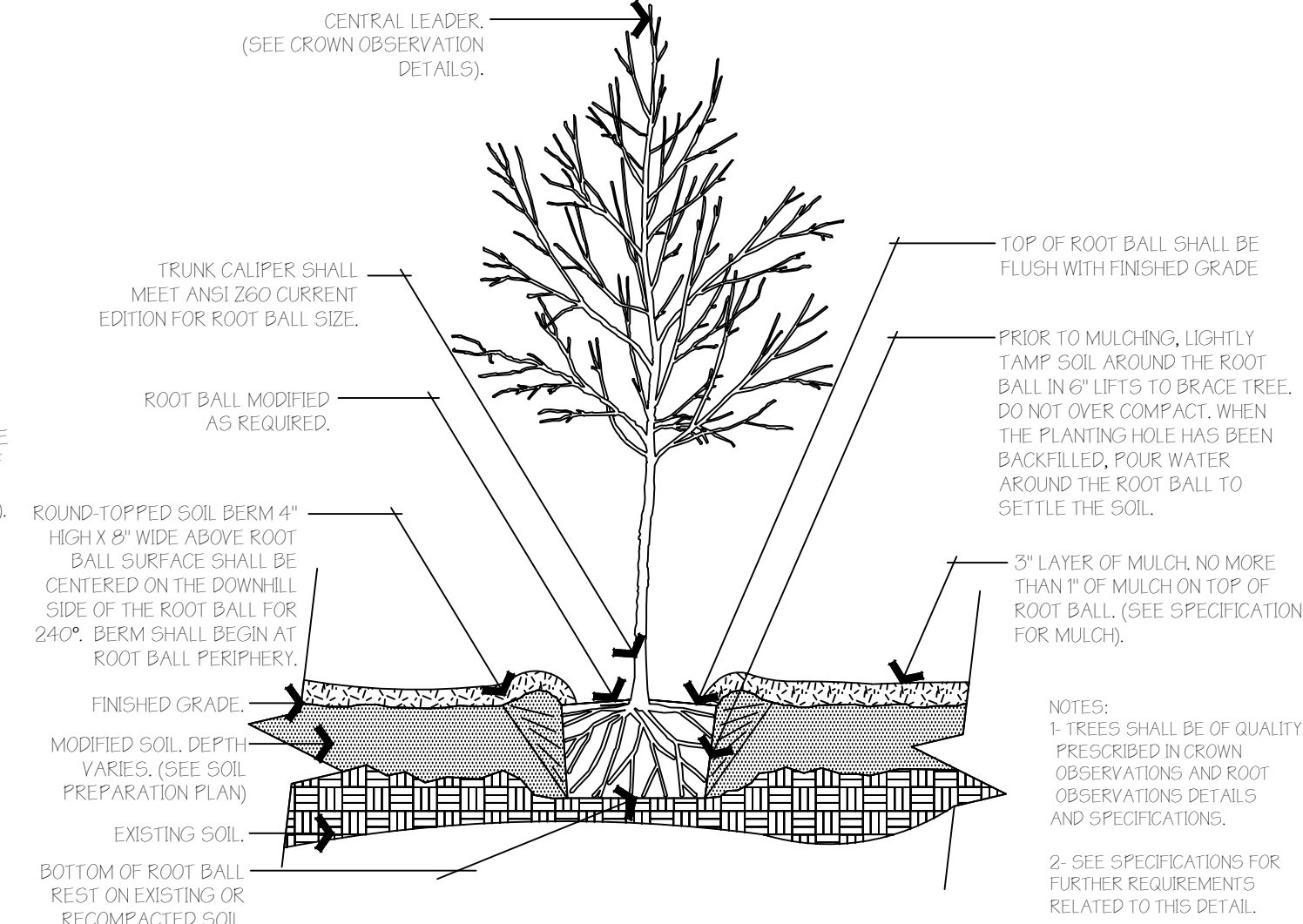
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PKJ DESIGN GROUP



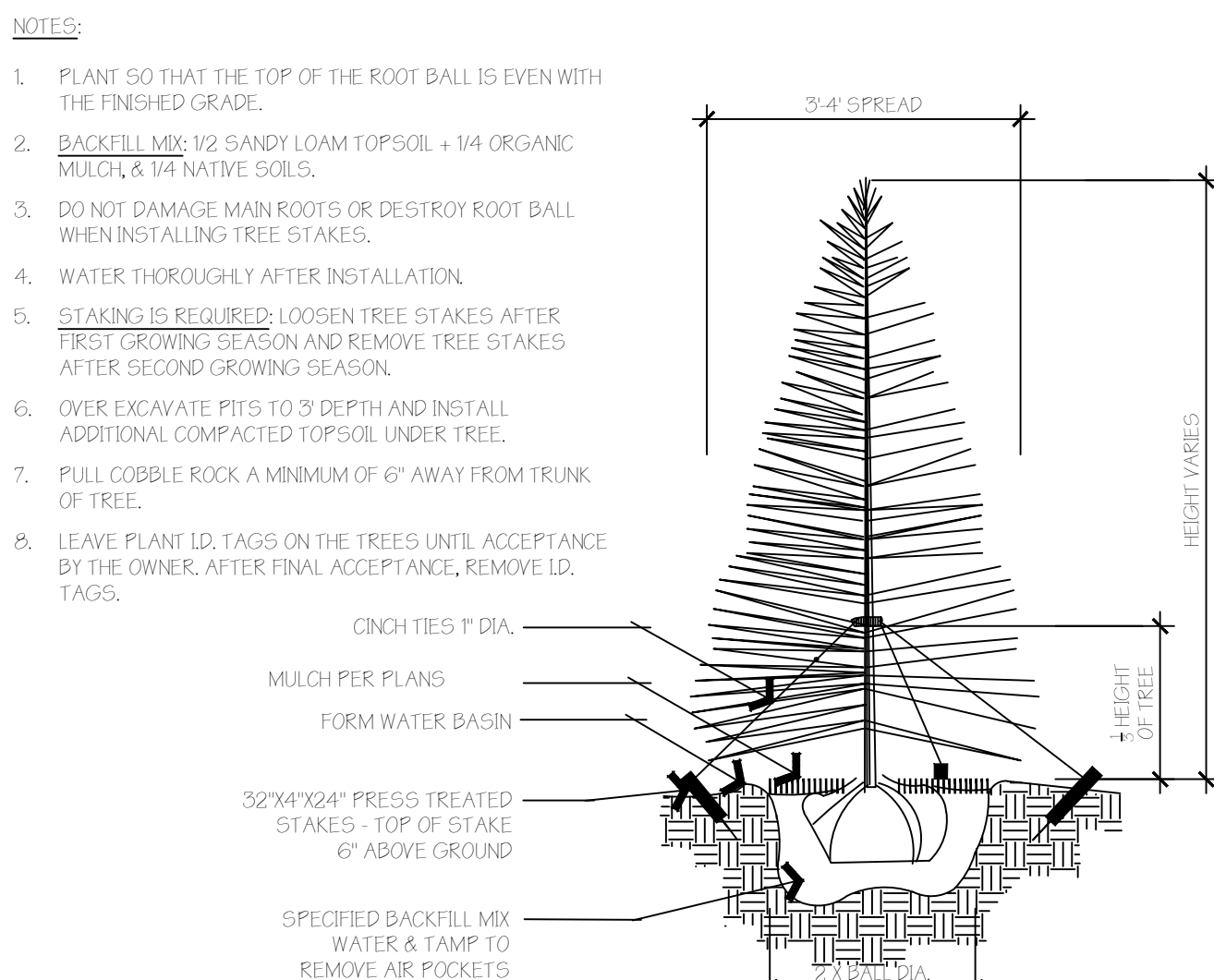
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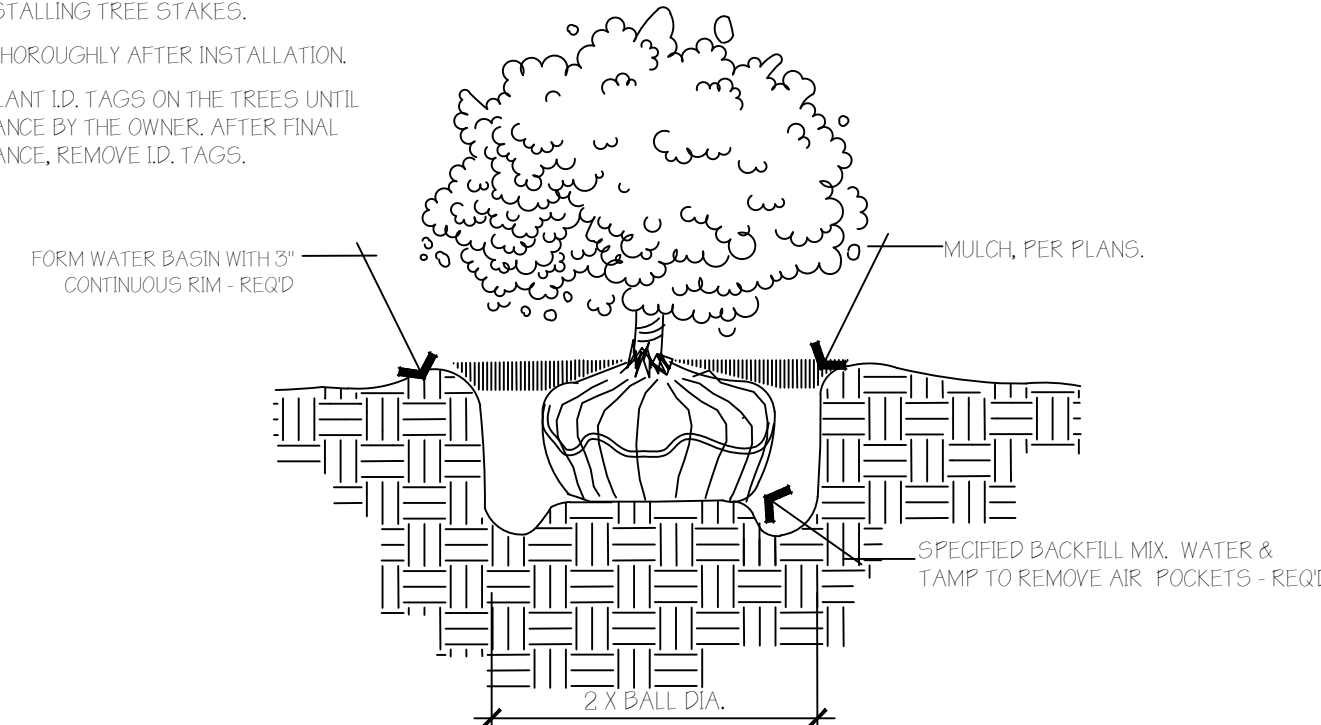
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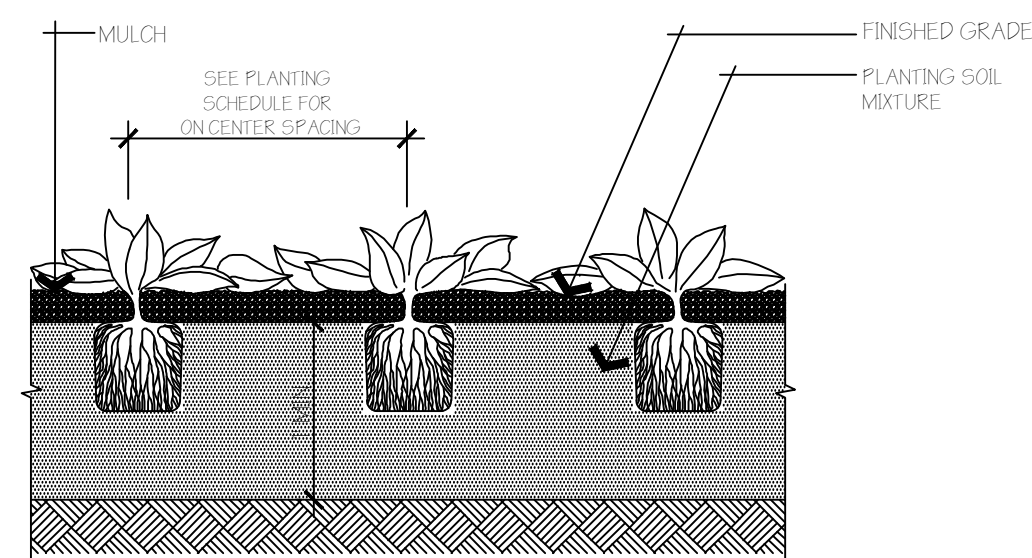
PKJ DESIGN GROUP

1. IF PLANT IS BALL & BURLAP, CUT AND REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
2. IF PLANT IS CONTAINERIZED, SCARIFY ROOT BALL PRIOR TO PLANTING.
3. BACKFILL MIX: 1/2 SANDY LOAM + 1/4 ORGANIC MULCH + 1/4 NATIVE SOILS IF NATIVE SOILS ARE SUITABLE.
4. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
5. WATER THOROUGHLY AFTER INSTALLATION.
6. LEAVE PLANT ID TAGS ON THE TREES UNTIL ACCEPTANCE BY THE OWNER. AFTER FINAL ACCEPTANCE, REMOVE ID TAGS.



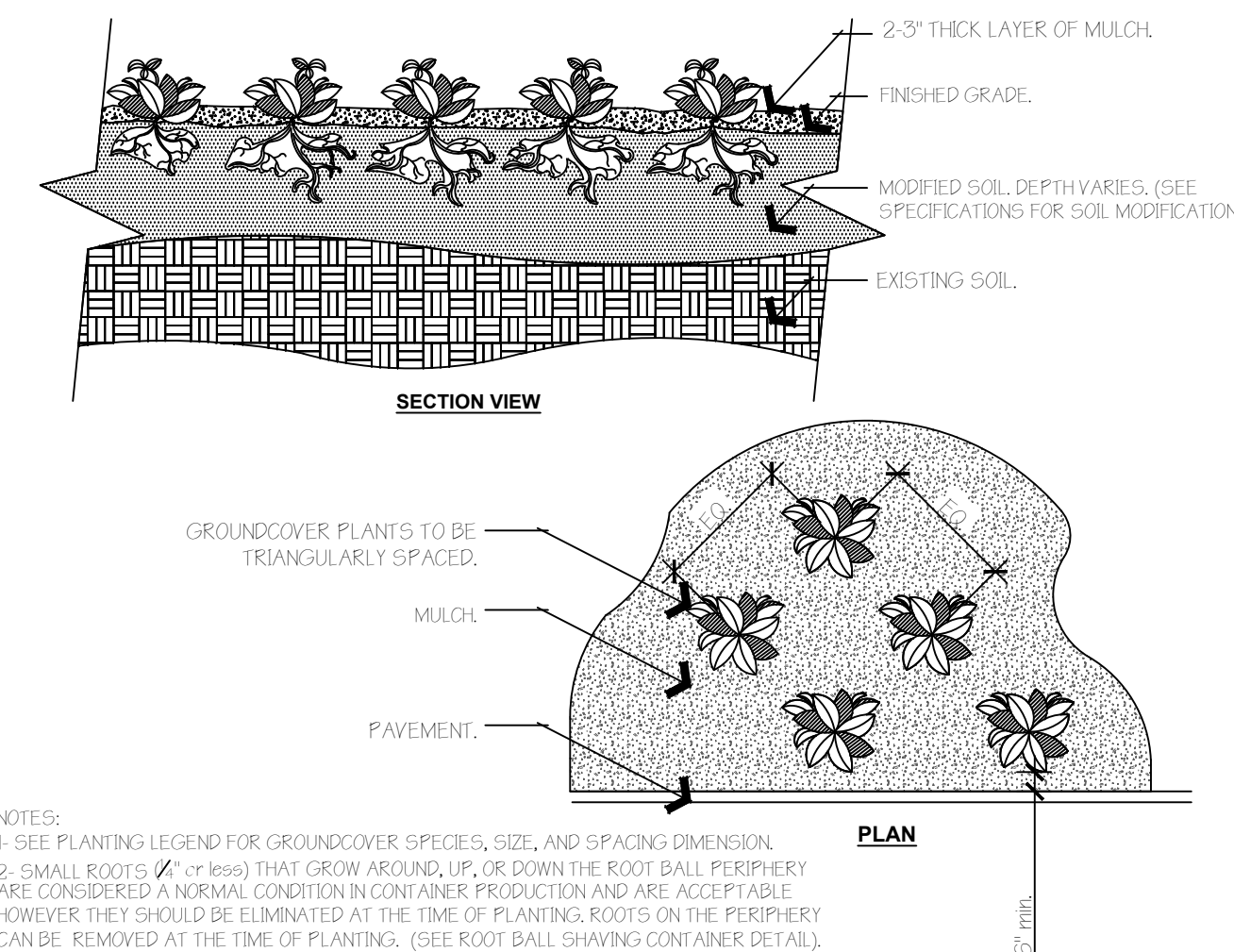
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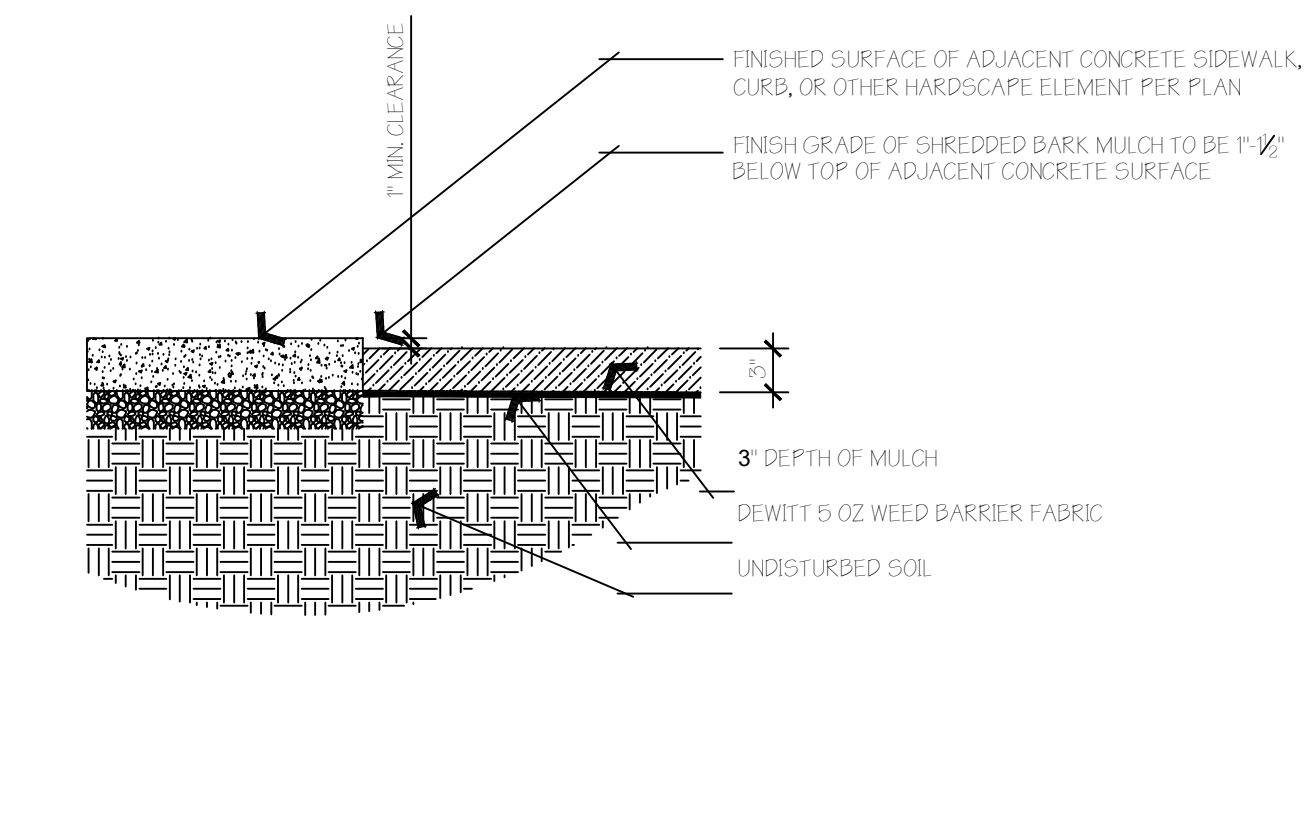
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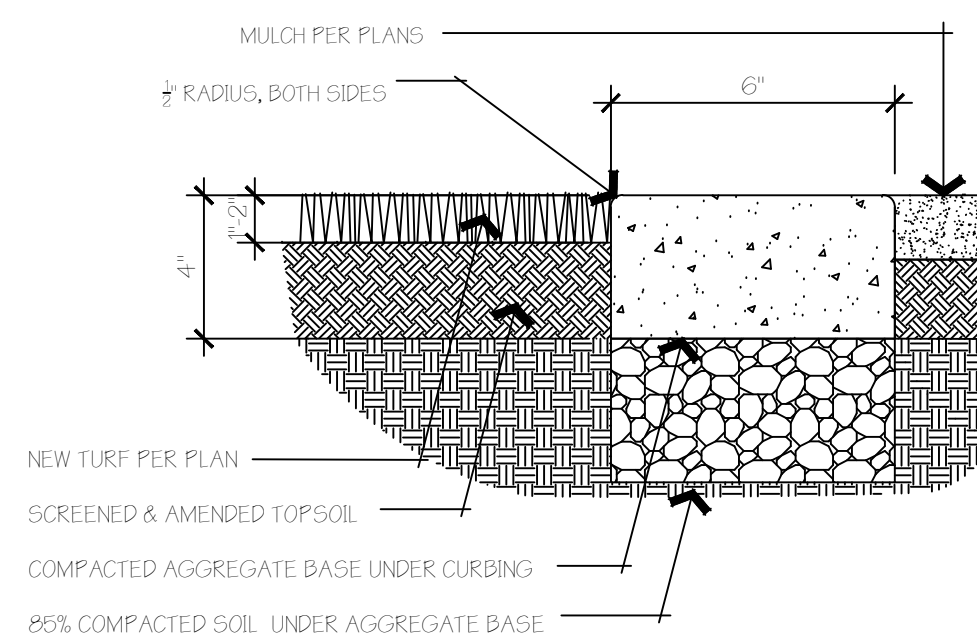
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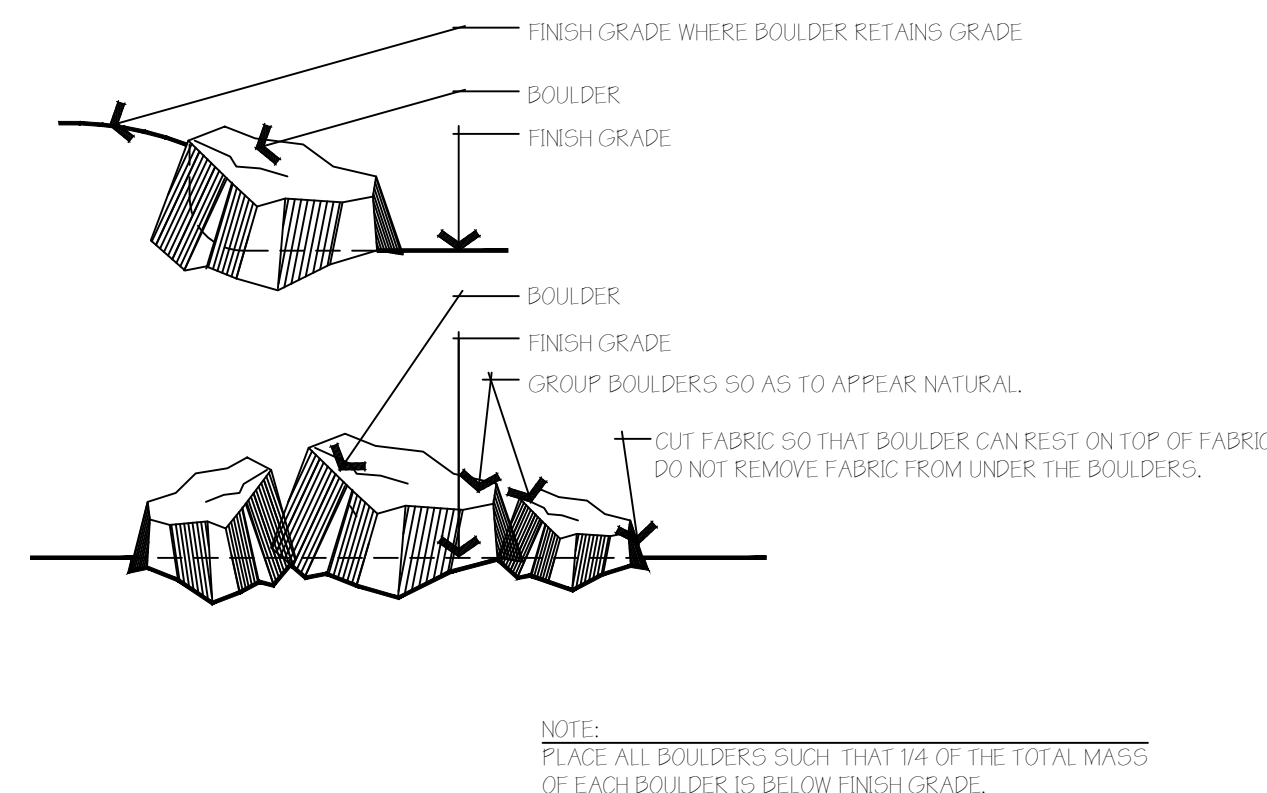
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- NOTE:
1. PROVIDE CONTROL JOINT IN CONCRETE EDGE AT 10' INTERVALS, PROVIDE EXPANSION JOINTS EVERY 30'.



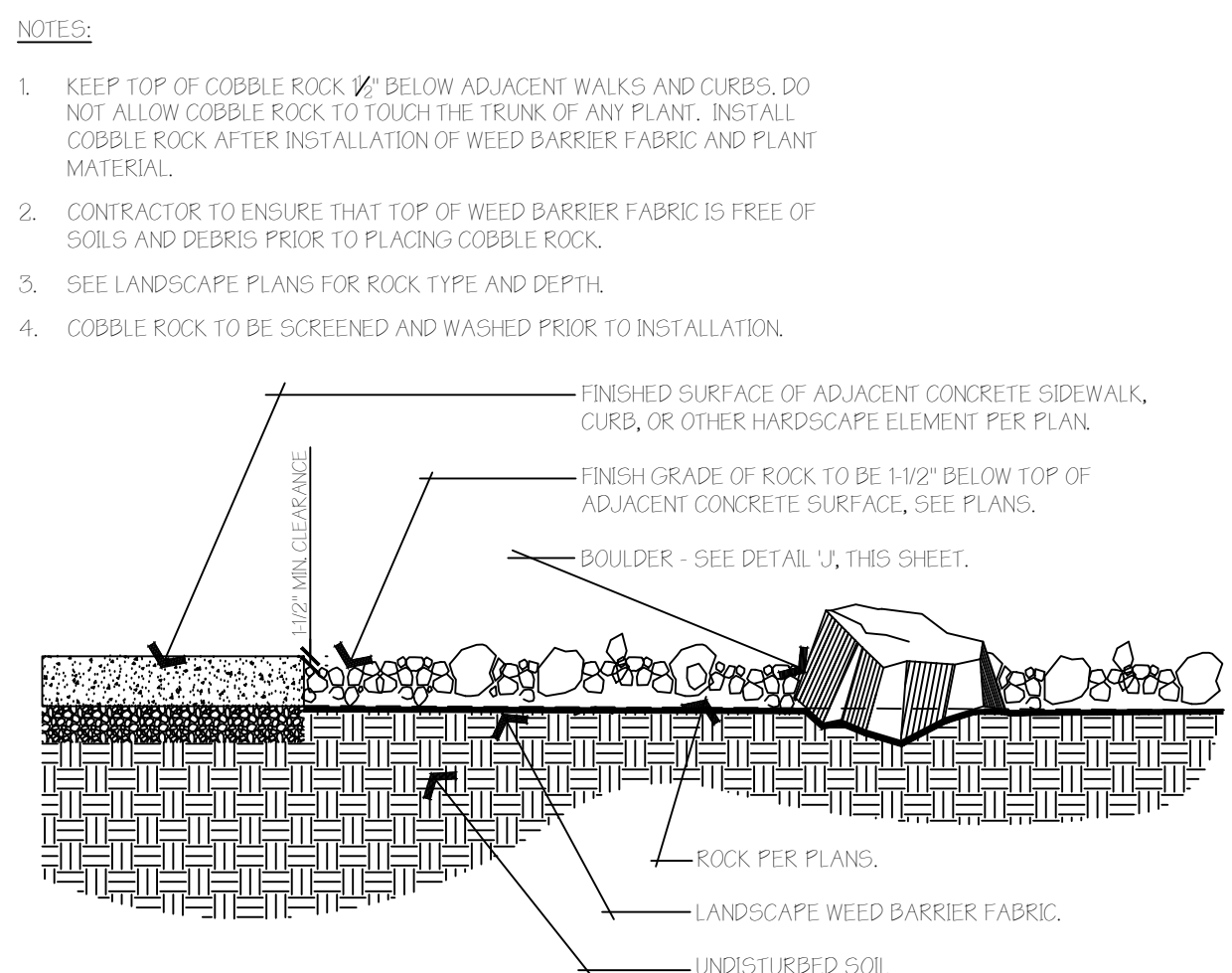
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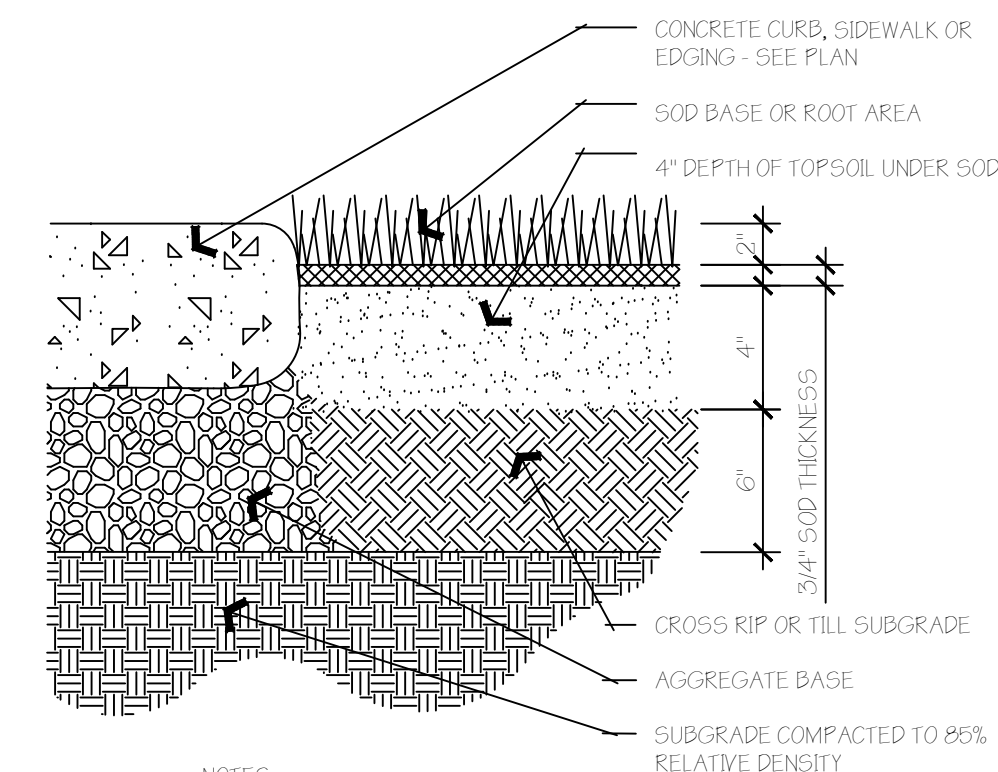
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ISSUE DATE			PROJECT NUMBER			PLAN INFORMATION			PROJECT INFORMATION			DEVELOPER / PROPERTY OWNER / CLIENT			LANDSCAPE ARCHITECT / PLANNER			LICENSE STAMP					
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TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

EAGLE MOUNTAIN
UTAH

HIDDEN HOLLOW

CONCEPT AREA 1

JOB
CEM
SHEET NO.
1

PARKS & OPEN SPACE WORKSHEET

HIDDEN HOLLOW PHASE 'B'

Directions: Submit a completed worksheet with your preliminary plat or site plan application. Proposed amenities and park designs are subject to approval by the Planning Commission and City Council.

Required Improved Open Space			
Residential Lots / Units		Required Open Space (Square Feet) ^a	Required Open Space (Acres) ^b
75	x 1,000 =	75,000 sq ft	/ 43,560 = 1.72 Acres

Park Fee-In-Lieu (if applicable)	
Required Open Space (Square Feet) ^a	Total Fee-In-Lieu
sq ft	x \$5.75 = \$

Required Amenity Points	
Required Open Space (Acres) ^b	Required Amenity Points
1.72 Acres	x 100 = 172 Points

Park & Improved Open Space Elements / Amenities			
Park Feature / Improvement	Points Available	Proposed Quantities	Proposed Points
Bench / Picnic Table (w/ shade structure or trees)	2	3	6
Bicycle Rack (4+ bikes)	2	3	6
Trees (5) (A majority must be shade trees)	2	3	6
Shade Structure	4		
Drinking Fountain	5	1	5
Asphalt or Concrete Trails – 8 ft wide, excluding sidewalks along streets (per 100 linear feet)	6		
Parking* (5 stalls)	6		
Swings (4+ swings)	7		
Concrete Basketball Court (1/2)	20		
Pavilion w/ tables, garbage receptacles, barbeques (per 100 square feet)	4		
Playground Equipment* per \$1,000	2		
Splash Pad* per \$1,000	2		
Tennis Court (6,600 sq ft or 55'x120')	100		
Sports Court (6,600 sq ft or 55'x120')	100		
Restroom (600+ sq ft)	100	1	100
Restroom (1200+ sq ft)	200		
Public Art	Varies		
Other: Trail Head Kiosk, Bike Tool Rack and	Varies	1	50
Other: way finding signs	Varies		
TOTAL			173

* Public art should reflect the neighborhood or community identity or culture. Creativity is encouraged in playground equipment and splash pads, and may be awarded more points than standard equipment. Costs for playground equipment and splash pads reflect equipment costs only. Parking must be adjacent to improved open space, and must be in addition to any required parking for the development.

PARKS & OPEN SPACE WORKSHEET

HIDDEN HOLLOW PHASE 'C'

Directions: Submit a completed worksheet with your preliminary plat or site plan application. Proposed amenities and park designs are subject to approval by the Planning Commission and City Council.

Required Improved Open Space			
Residential Lots / Units		Required Open Space (Square Feet) ^a	Required Open Space (Acres) ^b
125	x 1,000 =	_____ sq ft	/ 43,560 = 2.87 Acres

Park Fee-In-Lieu (if applicable)	
Required Open Space (Square Feet) ^a	Total Fee-In-Lieu
_____ sq ft	x \$5.75 = \$ _____

Required Amenity Points	
Required Open Space (Acres) ^b	Required Amenity Points
_____ Acres	x 100 = 287 Points

Park & Improved Open Space Elements / Amenities			
Park Feature / Improvement	Points Available	Proposed Quantities	Proposed Points
Bench / Picnic Table (w/ shade structure or trees)	2	1	2
Bicycle Rack (4+ bikes)	2		
Trees (5) (A majority must be shade trees)	2	3	6
Shade Structure	4		
Drinking Fountain	5		
Asphalt or Concrete Trails – 8 ft wide, excluding sidewalks along streets (per 100 linear feet)	6	6	36
Parking* (5 stalls)	6	7	42
Swings (4+ swings)	7		
Concrete Basketball Court (1/2)	20		
Pavilion w/ tables, garbage receptacles, barbeques (per 100 square feet)	4	5	20
Playground Equipment* per \$1,000	2	50	100
Splash Pad* per \$1,000	2		
Tennis Court (6,600 sq ft or 55'x120')	100		
Sports Court (6,600 sq ft or 55'x120')	100		
Restroom (600+ sq ft)	100		
Restroom (1200+ sq ft)	200		
Public Art	Varies		
Other: 4100 Linear feet Mountain Bike Trails	Varies	41	82
Other: (2 PER 100)	Varies		
TOTAL			288

* Public art should reflect the neighborhood or community identity or culture. Creativity is encouraged in playground equipment and splash pads, and may be awarded more points than standard equipment. Costs for playground equipment and splash pads reflect equipment costs only. Parking must be adjacent to improved open space, and must be in addition to any required parking for the development.